

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in **green** font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in **purple** is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in **blue** font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

Chapter 14 Residential

14.1 Introduction

- a. This introduction is to assist the lay reader to understand how this chapter works and what it applies to. It is not an aid to interpretation in a legal sense.
- b. The provisions in this chapter give effect to the **Chapter 3 Strategic Direction Objectives**.
- c. This chapter relates to **residential activities**, **community activities**, and where appropriate, small scale **commercial activities** that occur within new and existing residential areas throughout the District. Objectives, policies, rules, standards and assessment criteria provide for these activities in each of the residential zones identified in this chapter.
- d. This chapter seeks to manage the scale and character of new development in the residential areas in accordance with the strategic approach to development in Greater Christchurch, including provision for both **greenfields** development and intensification, particularly around **Key activity centres** and the **Central City**.

14.2 Objectives and Policies

14.2.1 Objective - Housing supply

- a. An increased supply of housing that will:
 - i. enable a wide range of housing types, sizes, and densities, in a manner consistent with Objectives **3.3.4(a)** and **3.3.7**;
 - ii. meet the diverse **and changing** needs of the community **and future generations in the immediate recovery period and longer term, including social housing options**; and

- iii. assist in improving housing affordability.

14.2.1.1 Policy - Housing distribution and density

- a. Provide for the following distribution of different areas for residential development, in accordance with the residential zones identified and characterised in Table 14.2.1.1a, in a manner that ensures:
 - i. new urban **residential activities** only occur in existing urban areas or in **greenfield** priority areas identified in Map A of the **Canterbury Regional Policy Statement**;
 - ii. high density residential development **is established** in the **Central City**; ~~that achieves an average net density of at least 50 households per hectare for intensification development;~~
 - iii. ~~medium~~ **high** density residential development in and near identified **commercial centres** **is established** in existing urban areas where there is ready access to a wide range of facilities, services, public transport, parks and open spaces, ~~that achieves an average net density of at least 30 households per hectare for intensification development;~~
 - iv. ~~a mix of low and~~ medium residential density development in **greenfield** neighbourhoods, that achieves a **net density** (averaged over the **Outline development plan**) of at least 15 households per hectare;
 - v. **greenfield** land that is available for further residential development up to 2028;
 - vi. low density residential environments in **large lot residential zones** ~~other existing suburban residential areas~~ and in the residential areas of **Banks Peninsula (except areas zoned Medium Density Residential Zone and High Density Residential Zone)**, and in small settlements are maintained, but limited opportunities are provided for smaller **residential units** that are compatible with the low density and township suburban environment; and
 - vii. within **Banks Peninsula (except areas zoned Medium Density Residential Zone and High Density Residential Zone)**, limited low density residential development adjacent to existing residential townships and small settlements, that complements the surrounding environment, is able to be efficiently serviced by public infrastructure and in some limited circumstances private infrastructure; and is in locations not subject to significant risks to life safety and property damage from natural hazards.

Table 14.2.1.1a

Residential Suburban Zone	<p>Provides for the traditional type of housing in Christchurch in the form of predominantly single or two storeyed detached or semi-detached houses, with garage, ancillary buildings and provision for gardens and landscaping.</p> <p>The changing demographic needs and increasing demand for housing in Christchurch are provided for through a range of housing opportunities, including better utilisation of the existing housing stock. A wider range of housing options will enable a typical family home to be retained, but also provide greater housing stock for dependent relatives, rental accommodation, and homes more suitable for smaller households (including older persons).</p>
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Residential Suburban Density Transition Zone	<p>Covers some inner suburban residential areas between the Residential Suburban Zone and the Residential Medium Density Zone, and areas adjoining some commercial centres.</p> <p>The zone provides principally for low to medium density residential development. In most areas there is potential for infill and redevelopment at higher densities than for the Residential Suburban Zone.</p>
Residential Medium Density Zone	<p>Located close to the Central City and around other larger commercial centres across the city. The zone provides a range of housing options for people seeking convenient access to services, facilities, employment, retailing, entertainment, parks and public transport.</p> <p>The zone provides for medium scale and density of predominantly two or three storey buildings, including semi-detached and terraced housing and low-rise apartments, with innovative approaches to comprehensively designed, high quality, medium density residential development also encouraged.</p> <p>Residential intensification is anticipated through well-designed redevelopments of existing sites, and more particularly through comprehensive development of multiple adjacent sites. Zone standards and urban design assessments provide for new residential development that is attractive, and delivers safe, secure, private, useable and well landscaped buildings and settings.</p>
Residential Central City Zone	<p>Located within the Central City, the Residential Central City Zone has been developed to contribute to Christchurch's liveable city values. Providing for a range of housing types, including attractive, high density living opportunities, the zone utilises the potential for living, working and playing in close proximity to the commercial centre of the city. The character, scale and intensity of non-residential activities is controlled in order to mitigate effects on the character and amenity of the inner city residential areas.</p>
Residential New Neighbourhood Zone Future Urban zone	<p>The Residential New Neighbourhood Future Urban Zone generally includes new areas of greenfield land where large-scale residential development is planned. The zone will allow a wide range of residential house types and section sizes to provide for a wide spectrum of household sizes and affordable housing. People will therefore be able to remain within the neighbourhood throughout their lifetime as they move to housing types that suit their life stage. These areas are intended to achieve higher overall residential densities than traditionally achieved in suburban developments. <u>Interim activities are provided for which do not compromise the ability for cohesive residential development to be delivered in line with an Outline Development Plan.</u></p>
Medium Density Residential Zone	<p><u>The zone includes the activities described in objective 14.2.5 and is used predominantly for residential activities with moderate concentration and bulk of buildings, such as detached, semi-detached and terraced housing, low-rise apartments, and other compatible activities.</u></p>
High Density Residential Zone	<p><u>The zone includes the activities described in objective 14.2.6 and is used predominantly for residential activities with high concentration and bulk of buildings, such as apartments, and other compatible activities.</u></p>

Residential Banks Peninsula Zone	<p>Includes urban and suburban living, commuter accommodation and the small harbour settlements.</p> <p>The zone includes <u>is at</u> the settlements of Lyttelton and Akaroa which each have a distinctive urban character. Lyttelton has a more urban atmosphere and a distinct urban-rural boundary. The residential areas are characterised by small lot sizes and narrow streets. Akaroa is a smaller settlement characterised by its historic colonial form and architecture, relatively narrow streets, distinctive residential buildings and well-treed properties. Akaroa is a focal point for visitors to the region and the district. The character of these two <u>the</u> settlements is highly valued and the District Plan provisions seek to retain that character. Opportunities for residential expansion around Lyttelton and Akaroa are constrained by the availability of reticulated services and land suitability.</p> <p>The smaller settlements around Lyttelton harbour provide a variety of residential opportunities. Residential areas at Cass Bay, Corsair Bay, Church Bay and Diamond Harbour offer a lower density residential environment with relatively large lots. Each settlement differs as a reflection of its history, the local topography, the relationship with the coast and the type of residential living offered.</p> <p>Non-residential activities that are not compatible with the character of the Residential Banks Peninsula Zone are controlled in order to mitigate adverse effects on the character and amenity of the area.</p>
Residential Hills Zone	<p>Covers all the living environments that are located on the slopes of the Port Hills from Westmorland in the west to Scarborough in the east. It provides principally for low density residential development that recognises the landscape values of the Port Hills, including opportunities for planting and landscaping, and control of reflectivity of roof finishes in order to blend buildings into the landscape. Provision is made for a range of housing options that will enable a typical family home to be retained, but also provide greater housing stock for dependent relatives, rental accommodation, and homes more suitable for smaller households (including older persons). Provision is also made for a range of appropriate non-residential activities.</p>
Residential Large Lot Zone	<p>Covers a number of areas on the Port Hills where there is an existing residential settlement that has a predominantly low density or semi-rural character as well as the Akaroa Hillslopes and rural residential areas of Samarang Bay and Allandale on Banks Peninsula, <u>and a low density hamlet centred on the northern part of Gardiners Road, Redmund Spur, and 86 Bridle Path Road.</u></p>
Residential Small Settlement	<p>Covers the many small settlements on Banks Peninsula, as well as the settlements of Kainga and Spencerville to the north of Christchurch. Lot sizes within the settlements are typically larger than urban areas reflecting their existing character and providing a lower density semi-rural living environment, with the exception of Kainga, where smaller lots are provided for. New development is consolidated in and around existing settlements. Control of roof reflectivity seeks to blend buildings into the rural landscape.</p> <p>Non-residential activities that are not compatible with the character of the settlements are controlled in order to mitigate adverse effects on amenity and the environment of the settlements.</p>

Residential Guest Visitor Accommodation Zone (Plan Change 4 Council Decision subject to appeal)	Comprises a number of sites situated in residential locations that were previously either zoned or scheduled for guest visitor accommodation purposes in earlier district plans and continue to be used for guest visitor accommodation . The zone provides for the ongoing operation, intensification or redevelopment of these established activities, compatible with the character and amenity of adjoining residential zones.
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~~14.2.1.2 Policy – Establishment of new medium density residential areas~~

- a. ~~Support establishment of new residential medium density zones to meet demand for housing in locations where the following amenities are available within 800 metres walkable distance of the area:~~
 - i. ~~a bus route;~~
 - ii. ~~a ~~Key activity centre~~ or larger suburban ~~commercial centre~~;~~
 - iii. ~~a park or ~~public open space~~ with an area of at least 4000m²; and~~
 - iv. ~~a public full primary school, or a public primary or intermediate school.~~
- b. ~~Avoid establishment of new residential medium density development in:~~
 - i. ~~high hazard areas;~~
 - ii. ~~areas where the adverse environmental effects of land remediation outweigh the benefits; or~~
 - iii. ~~areas that are not able to be efficiently serviced by ~~Council~~ owned stormwater, wastewater and water supply networks.~~
- c. ~~Encourage comprehensively designed, high quality and innovative, medium density residential development within these areas, in accordance with Objective ~~14.2.4~~ and its policies.~~
- d. ~~Provide for medium density residential development in defined arterial locations identified as suitable for larger scale ~~community facilities~~ and ~~guest visitor accommodation~~.~~

Note: This policy also implements Objective ~~14.2.2~~.

(Plan Change 4 Council Decision subject to appeal)

~~14.2.1.3 Policy – Residential development in the Central City~~

- a. ~~To restore and enhance ~~residential activity~~ in the ~~Central City~~ by:~~
 - i. ~~providing flexibility for a variety of housing types which are suitable for a range of individual housing needs;~~
 - ii. ~~providing for a progressive increase in the residential population of the ~~Central City~~ in support of Policy ~~14.2.1.1 a.ii~~;~~

- iii. ~~assisting in the creation of new inner city residential neighbourhoods and the protection of amenity of inner city residential neighbourhoods; and~~
- iv. ~~encourage the comprehensive redevelopment of sites that are no longer required for non-residential purposes.~~

14.2.1.4 Policy - Residential development in Banks Peninsula

- a. Provide for limited growth and changes to residential townships and small settlements that:
 - i. improves the long term viability of the townships, settlements and their communities;
 - ii. provides new housing opportunities in locations that are not subject to significant risks to life-safety and property damage from natural hazards;
 - iii. integrates with the existing residential settlement and maintains a consolidated urban form; and
 - iv. does not compromise the dominance of the landscape setting, and avoids ribbon residential development along the coastline, on prominent spurs, ridges and skylines.

14.2.1.5 Policy - Needs of Ngāi Tahu whānui

- a. Enable the housing needs of Ngāi Tahu whānui to be met throughout residential areas and in other locations where there is an ongoing relationship with ancestral lands.

Note: This policy also implements Objective [14.2.2](#).

~~14.2.1.6 Policy - Provision of social housing~~

- a. ~~Enable small scale, medium density social housing developments throughout residential areas as a permitted activity and social housing developments generally throughout residential areas.~~

~~Note: This policy also implements Objective [14.2.2](#)~~

14.2.1.7 Policy - Non-household residential accommodation

- a. Enable [sheltered housing](#), refuges, and student hostels to locate throughout residential areas, provided that the [building](#) scale, massing, and layout is compatible with the anticipated character of any surrounding residential environment.

Note: This policy also implements Objective [14.2.2](#).

~~14.2.1.8 Policy - Provision of housing for an aging population~~

- a. ~~Provide for a diverse range of independent housing options that are suitable for the particular needs and characteristics of [older persons](#) throughout residential areas.~~
- b. ~~Provide for comprehensively designed and managed, well located, higher density accommodation options and [accessory](#) services for [older persons](#) and those requiring care or assisted living, throughout all residential zones.~~

- c. ~~Recognise that housing for older persons can require higher densities than typical residential development, in order to be affordable and, where required, to enable efficient provision of assisted living and care services.~~

Note: This policy also implements Objective [14.2.2](#)

14.2.1.9 Policy - Monitoring

- a. Evaluate the effectiveness of the [District Plan's](#) residential provisions by monitoring the supply of additional housing through residential intensification, [greenfield](#) and [brownfield](#) development (including housing types, sizes and densities), and its contribution to:
- i. meeting regional growth targets for greater Christchurch in the Greater Christchurch Settlement Plan Update and the Canterbury Regional Policy Statement;
 - ii. achieving a minimum of 55,950 additional dwellings by 2048 (Objective [3.3.4\(a\)](#));
 - iii. meeting the diverse and changing population and housing needs for Christchurch residents, in the immediate recovery period and longer term;
 - iv. improving housing affordability; and
 - v. meeting the housing intensification targets specified in Objective [3.3.7\(a\)\(iv\)](#).
- b. Undertake the monitoring and evaluation at such intervals as to inform any other monitoring requirements of other statutory instruments, and make the results publicly available.
- c. Have regard to the information from this monitoring when determining priority areas for residential intensification and provision for new and upgraded infrastructure.

~~14.2.2 Objective – Short term residential recovery needs~~

- ~~a. Short term residential recovery needs are met by providing opportunities for:~~
- ~~i. an increased housing supply throughout the lower and medium density residential areas;~~
 - ~~ii. higher density comprehensive redevelopment of sites within suitable lower and medium density residential areas;~~
 - ~~iii. medium density comprehensive redevelopment of community housing environments;~~
 - ~~iv. new neighbourhood areas in [greenfield](#) priority area; and~~
 - ~~v. temporary infringement of built form standards as earthquake repairs are undertaken.~~

Note: Policies [14.2.1.1](#), [14.2.1.2](#), [14.2.1.3](#), [14.2.1.4](#), [14.2.1.5](#), [14.2.1.6](#), [14.2.1.7](#), and [14.2.1.8](#) also implement Objective [14.2.2](#).

~~14.2.2.1 Policy – Short term recovery housing~~

- ~~a. Provide for and incentivise a range of additional housing opportunities to meet short term residential recovery needs through redevelopment and additions to the existing housing stock and/or vacant land, that:~~

- i. ~~are appropriately laid out and designed to meet the needs of current and future residents; and~~
- ii. ~~avoid significant adverse effects on the character or amenity of existing residential areas.~~

~~14.2.2.2 Policy—Recovery housing—higher density comprehensive redevelopment~~

- a. ~~Enable and incentivise higher density comprehensive development of suitably sized and located sites within existing residential areas, through an Enhanced development mechanism which provides:~~
 - i. ~~high quality urban design and onsite amenity;~~
 - ii. ~~appropriate access to local services and facilities;~~
 - iii. ~~development that is integrated with, and sympathetic to, the amenity of existing neighbourhoods and adjoining sites; and~~
 - iv. ~~a range of housing types;~~
 - v. ~~and which does not promote land banking, by being completed in accordance with a plan for the staging of the development.~~
- b. ~~To avoid comprehensive development under the Enhanced development mechanism in areas that are not suitable for intensification for reasons of:~~
 - i. ~~vulnerability to natural hazards;~~
 - ii. ~~inadequate infrastructure capacity;~~
 - iii. ~~adverse effects on Character Areas; or~~
 - iv. ~~reverse sensitivity effects on existing heavy industrial areas, Christchurch International Airport, arterial traffic routes, and railway lines.~~

~~14.2.2.3 Policy—Redevelopment and recovery of community housing environments~~

- a. ~~Enable and incentivise comprehensive redevelopment of the existing community housing environments, through a Community housing redevelopment mechanism which:~~
 - i. ~~provides high quality urban design and on-site amenity;~~
 - ii. ~~provides development that is integrated with, and sympathetic to, the amenity of adjacent neighbourhoods;~~
 - iii. ~~maintains or increases the stock of community housing units;~~
 - iv. ~~provides for an increased residential density; and~~
 - v. ~~provides for a range of housing types including housing for lower income groups and those with specific needs.~~

~~14.2.2.4 Policy – Temporary infringement for earthquake repairs~~

- ~~a. Enable temporary infringement of built form standards relating to building height and recession planes to facilitate the timely completion of repairs to earthquake damaged houses and ancillary buildings.~~

14.2.2 Objective - MDRS Objective 2

- a. A relevant residential zone provides for a variety of housing types and sizes that respond to:
 - i. housing needs and demands; and
 - ii. the neighbourhood's planned urban built character, including 3-storey buildings.

14.2.2.1 Policy – MDRS Policy 1

- a. Enable a variety of housing types with a mix of densities within the zone, including 3-storey attached and detached dwellings, and low-rise apartments.

14.2.2.2 Policy - MDRS Policy 2

- a. Apply the MDRS across all relevant residential zones in the district plan except in circumstances where a qualifying matter is relevant (including matters of significance such as historic heritage and the relationship of Māori and their culture and traditions with their ancestral lands, water, sites, wāhi tapu, and other taonga).

14.2.2.3 Policy - MDRS Policy 5

- a. Provide for developments not meeting permitted activity status, while encouraging high-quality developments

14.2.2.4 Policy - MDRS Policy 3

- a. Encourage development to achieve attractive and safe streets and public open spaces, including by providing for passive surveillance.

14.2.2.5 Policy - MDRS Policy 4

- a. Enable housing to be designed to meet the day-to-day needs of residents.

14.2.2.6 – Framework for building heights in medium and high density areas

- a. Enable building heights in accordance with the planned urban built character for medium and high density areas, whilst also enabling increased building heights under specific conditions.

14.2.2.7 – Management of increased building heights

- a. Within medium and high density zoned areas, only provide for increased building heights beyond those enabled in the zone or precinct where the following is achieved:

- i. the development provides for a greater variety of housing types, price points, and sizes, when compared to what is provided in the surrounding area;
- ii. the development is consistent with the built form outcomes anticipated by the underlying zone or precinct;
- iii. the site is located within walking distance of public or active transport corridors; community facilities or commercial activities; and public open space;
- iv. building design features are used to reduce:
 - A. significant shading, dominance and privacy effects caused by increased height on adjacent residential properties and public spaces; and
 - B. the effects of dominance and shading on historic heritage, significant trees, or character areas;
- v. When considering height increases within 1.2km from the city centre, the economic impacts on the city centre from an increase in height.

14.2.2.8 Policy – Firefighting water capacity

- a. Require residential developments to have sufficient water supply for firefighting purposes to ensure the health and safety of people and communities.

14.2.3 Objective - Strategic infrastructure

- a. Development of sensitive activities does not adversely affect the efficient operation, use, and development of Christchurch International Airport and Port of Lyttelton, the rail network, the National Grid and the identified 66kV and 33kV electricity distribution lines and the Heathcote to Lyttelton 11kV electricity distribution line, the state highway network, and other strategic infrastructure.

14.2.3.1 Policy - Avoidance of adverse effects on strategic infrastructure

- a. Avoid reverse sensitivity effects on strategic infrastructure including:
 - i. Christchurch International Airport;
 - ii. the rail network;
 - iii. the major arterial road and minor arterial road network;
 - iv. the Port of Lyttelton;
 - v. the National Grid and the 66kV and 33kV electricity distribution lines and Heathcote to Lyttelton 11kV electricity distribution line identified on the planning maps.

14.2.4 Objective - High quality residential environments

- a. High quality, sustainable, residential neighbourhoods which are well designed, ~~have a high level of amenity, enhance local character and reflect~~ to reflect the planned urban character and the Ngāi Tahu heritage of Ōtautahi.

Note: Policies 14.2.6.1, 14.2.6.2, 14.2.6.3, 14.2.6.6, and 14.2.6.8 also implement Objective 14.2.4.

14.2.4.1 Policy - Neighbourhood character, amenity and safety

- a. ~~Facilitate the contribution of~~ **Provide for** individual developments ~~to high quality residential environments~~ in all residential areas (as characterised in Table 14.2.1.1a), ~~through design which contributes to a high quality environment through a site layout and building design that:~~
- i. ~~reflecting the context, character, and scale of building anticipated in the neighbourhood~~ **ensures buildings and planting have a greater prominence from the street than car parking and servicing areas;**
 - ii. ~~contributing to a high quality street scene~~ **prioritises pedestrian circulation through the site, particularly over vehicle movement; ensuring it is direct, safe and well integrated; with formation that supports a variety of users;**
 - iii. ~~providing a high level of on-site amenity~~ **provides a public front entrance to each street-fronting apartment building or street-fronting residential unit, separate from any private outdoor space;**
 - iv. ~~minimising~~ **noise effects from traffic, railway activity, and other sources where necessary to protect residential amenity;**
 - v. ~~providing safe, efficient, and easily accessible movement for pedestrians, cyclists, and vehicles~~ **have street facing façades that include a high level of clear glazing and design for visual interest; and**
 - vi. **provides prominent planting areas throughout communal areas and adjacent to the street;**
 - vii. ~~incorporating~~ **principles of crime prevention through environmental design.**

14.2.4.2 Policy - High quality, medium density residential development

- a. Encourage innovative approaches to comprehensively designed, high quality, medium density residential development, which is attractive to residents, responsive to housing demands, and ~~provides a positive contribution to its environment (while acknowledging the need for increased densities and changes in residential character)~~ **reflects the planned urban built character of an area,** through:
- i. consultative planning approaches to identifying particular areas for residential intensification and to defining high quality, built and urban design outcomes for those areas;
 - ii. encouraging and incentivising amalgamation and redevelopment across large-scale residential intensification areas;
 - iii. providing design guidelines to assist developers to achieve high quality, medium density development;
 - iv. considering input from urban design experts into resource consent applications;

- v. promoting incorporation of **low impact urban design** elements, energy and water efficiency, and life-stage inclusive and adaptive design; and
- vi. recognising that built form standards may not always support the best design and efficient use of a **site** for medium density development, particularly for larger **sites**.

14.2.4.3 Policy – Scale of home occupations

- a. ~~Ensure **home occupation** activity is secondary in scale to the residential use of the property.~~

~~This policy has been deleted.~~

(Plan Change 5D Council Decision)

14.2.4.3 Policy – Quality large scale developments

- a. Residential developments of four or more residential units contribute to a high quality residential environment through site layout, building and landscape design to achieve:
 - i. engagement with the street and other spaces;
 - ii. minimisation of the visual bulk of buildings and provision of visual interest;
 - iii. a high level of internal and external residential amenity;
 - iv. high quality shared spaces, including communal living spaces and accessways that provide safe, direct access for pedestrians;
 - v. a safe and secure environment; and
 - vi. public through connections for large sites with multiple public frontages.

14.2.4.4 Policy – On-site waste and recycling storage

- a. Ensure there is suitable on-site waste and recycling storage to meet the needs of occupiers through:
 - i. Sufficient on-site waste and recycling and storage space conveniently located to:
 - A. enable easy access by occupants and collection from (or delivery to) the street edge, including promoting communal waste management;
 - B. not detract from public spaces or on-street amenity;
 - C. not result in odour impacts to the on-site occupants or neighbours of the development.

14.2.4.5 Policy – Assessment of wind effects

- a. Maintain the comfort and safety of public and private space users by assessing and appropriately managing the adverse wind effects of tall buildings to ensure:
 - i. there is a low risk of harm to people;

- ii. the building and site design incorporates effective measures to reduce wind speeds; and
- iii. the comfort of private outdoor living spaces and public spaces is prioritised.

14.2.4.4 Policy—Character of low and medium density areas

- a. ~~Ensure, consistent with the zone descriptions in Table 14.2.1.1a, that:~~
 - i. ~~low density residential areas are characterised by a low scale open residential environment with predominantly one or two storey detached or semi-detached housing, and significant opportunities for landscaping and good access to sunlight and privacy are maintained; and~~
 - ii. ~~medium density areas are characterised by medium scale and density of buildings with predominantly two or three storeys, including semi-detached and terraced housing and low-rise apartments, and landscaping in publicly visible areas, while accepting that access to sunlight and privacy may be limited by the anticipated density of development and that innovative approaches to comprehensively designed, high quality, medium density residential development are also encouraged in accordance with Policy 14.2.4.2.~~

14.2.4.5 Policy—Character of residential development on the Port Hills

- a. ~~Ensure that residential development on the Port Hills:~~
 - i. ~~maintains the visual dominance of the Port Hills rural environment as a backdrop to the City;~~
 - ii. ~~avoids buildings and structures on skylines of significant and outstanding natural landscapes;~~
 - iii. ~~is of a density that provides opportunity for ample tree and garden planting;~~
 - iv. ~~integrates with existing residential areas and where possible provides connections to public open space; and~~
 - v. ~~where practicable, creates and improves connections to recreational, open space, ecological, and mahinga kai areas and recognises Sites of Ngāi Tahu Cultural Significance identified in Appendix 9.5.6.~~

14.2.4.6 Policy - Character of residential development in Banks Peninsula

- a. Ensure that residential development in Banks Peninsula:
 - i. maintains and complements the rural and coastal character elements that are distinct and unique to the local area and existing residential settlements;
 - ii. maintains the landscape setting and does not visually dominate views from land and water;
 - iii. avoids buildings and structures on skylines of significant and outstanding natural landscapes;

- iv. encourages innovative design and sustainable land-use development; and
- v. where practicable, creates and improves connections to recreational, open space, ecological, and mahinga kai areas and recognises Sites of Ngāi Tahu Cultural Significance identified in Appendix 9.5.6.

14.2.4.7 Policy - Residential character areas in Christchurch City, Akaroa and Lyttelton

- a. Maintain and enhance the identified special character values of residential areas arising from the following elements:
 - i. the continuity or coherence of the character;
 - ii. the pattern of subdivision, open space, buildings and streetscape;
 - iii. the landforms or features that contribute to the qualities of the landscape and built form;
 - iv. the scale, form and architectural values of buildings and their landscape setting;
 - v. the qualities of the streetscape; and
- b. Within the Lyttelton and Akaroa Character Areas:
 - i. maintains and enhances the relationship to historic heritage;
 - ii. retains buildings and settings of high character value;
 - iii. retains important views from public places;
 - iv. reflects the existing small scale of development and integration with the landscape.

14.2.4.8 Policy - Best practice for health, building sustainability, energy and water efficiency

- a. Promote new residential buildings that:
 - i. provide for occupants' health, changing physical needs, and life stages; and
 - ii. are energy and water efficient;
 - iii. through non-regulatory methods including incentives.

14.2.4.9 Policy – Managing site-specific Residential Large Lot development

- a. **Enable development within mixed density precincts in a way that is appropriate to site-specific characteristics and constraints.**

~~14.2.5 Objective – Residential New Neighbourhood Zone~~

[This section has been moved to 14.2.7]

14.2.5 Objective – Medium Density Residential Zone

- a. **Medium density residential areas of predominantly MDRS-scale development of three- or four-storey buildings, including semi-detached and terraced housing and low-rise apartments, with**

innovative approaches to comprehensively designed residential developments, whilst providing for other compatible activities.

14.2.5.1 Policy – MDRS Policy 1

- b. Enable a variety of housing types with a mix of densities within the zone, including 3-storey attached and detached dwellings, and low-rise apartments.**

14.2.5.2 Policy – Local Centre Intensification Precinct

Enable the development of four- to five-storey town houses and multi-storey apartments within the Local Centre Intensification Precinct.

14.2.6 Objective – Non residential activities

[This section has been moved to 14.2.8]

14.2.6 Objective – High Density Residential Zone

- a. High density residential development near larger commercial centres, commensurate with the expected demand for housing in these areas and the nature and scale of commercial activities, community facilities, and multimodal transport networks planned or provided in the commercial centres.**

14.2.6.1 Policy – Provide for a high density urban form

- a. Enable the development of high density urban areas with a density that is responsive to current and planned:**
 - i. degree of accessibility to services and facilities, public open space, and multimodal and active transport corridors; and**
 - ii. housing demand.**

14.2.6.2 Policy – High density location

- a. Enable high density residential development within walking catchments of the:**
 - i. City centre zone;**
 - ii. Town Centre zones of Riccarton, Papanui, and Hornby; and**
 - iii. Other larger commercial centres zoned as Town Centres and Local Centres;****to a degree that responds to the planned scale and nature of each centre group and the range of activities planned or provided there.**

14.2.6.3 Policy – Heights in areas surrounding the central city

- a. Provide for 10-storey residential buildings consolidated around the City Centre zone to stimulate and support the city centre.**

14.2.6.4 Policy – Large Local Centre Intensification Precinct

- a. Enable the development of 6-storey multi-storey flats and apartments in, and restrict development to solely within, the Large Local Centre Intensification Precinct and the Town Centre Intensification Precinct.

14.2.6.5 Policy – High Density Residential Precinct

- a. Enable the development of 6-story multi-storey flats and apartments in, and restrict development to solely within, the High Density Residential Precinct to manage intensification around the Central City zone.

14.2.57 Objective - ~~Residential New Neighbourhood~~ Future Urban Zone

- a. Co-ordinated, sustainable and efficient use and development is enabled in the ~~Residential New Neighbourhood~~ Future Urban Zone.

14.2.57.1 Policy - Outline development plans

- a. Use and development shall be in accordance with the development requirements in the relevant Outline development plan, or otherwise achieve similar or better outcomes, except as provided for in Clause b. in relation to any interim use and development.
- b. Interim use and development shall not compromise the timely implementation of, or outcomes sought by, the Outline development plan.
- c. Recognise that quarrying activities and other interim activities may be a suitable part of preparing identified greenfield priority areas for urban development, provided that their adverse effects can be adequately mitigated and they do not compromise use of the land for future urban development.

14.2.57.2 Policy - Comprehensive residential development

- a. Encourage comprehensive residential developments that are in accordance with the relevant outline development plan as a means of achieving co-ordinated, sustainable and efficient development outcomes.

14.2.57.3 Policy - Development density

- a. In residential development areas, achieve a minimum net density of 15 households per hectare, when averaged across the whole of the residential development area within the relevant outline development plan, except:
 - ~~i. in the Residential New Neighbourhood (Prestons) Zone where the minimum net density is between 13 and 15 households per hectare; and~~
 - ii. i. in areas shown on an Outline development plan as being subject to development constraints.
- b. Except as provided for in (a)(i) ~~and (ii)~~ above, any use and development which results in a net density lower than the required net density shall demonstrate, through the use of legal

mechanisms as appropriate, that the **net density** required across residential development areas of the **outline development plan** can still be achieved.

- c. Except as provided for in (a) and (b) above, a proposal for use and development which results in a **net density** lower than the required **net density** will result in other owners of **greenfield** (undeveloped) land within the **outline development plan** area being identified as affected parties (where they have not given written approval).
- d. Encourage higher density housing to be located to support, and have ready access to, **commercial centres, community facilities**, public transport and open space; and to support well-connected walkable communities.

14.2.57.4 Policy - Neighbourhood quality and design

- a. Ensure that use and development:
 - i. contributes to a strong sense of place, and a coherent, functional and safe neighbourhood;
 - ii. contributes to neighbourhoods that comprise a diversity of housing types;
 - iii. retains and supports the relationship to, and where possible enhances, recreational, heritage and ecological features and values; and
 - iv. achieves a high level of amenity.

14.2.57.5 Policy - Infrastructure servicing for developments

- a. Ensure that developments are serviced with all required infrastructure in an effective and efficient manner.

14.2.57.6 Policy - Integration and connectivity

- a. Ensure effective integration within and between developments and existing areas, including in relation to **public open space** networks, infrastructure and movement networks.
- b. Ensure that the boundaries between new and existing developments are, where appropriate, managed to avoid or mitigate adverse effects.
- c. Avoid significant adverse effects and remedy or mitigate other adverse effects on existing businesses, rural activities or infrastructure.

14.2.57.7 Policy - Ngā kaupapa / protection and enhancement of sites, values and other taonga of significance to tangata whenua

- a. Ensure:
 - i. protection of **Sites of Ngāi Tahu Cultural Significance** identified in **Schedule 9.5.6.1**, and recognition of other **Sites of Ngāi Tahu Cultural Significance** identified in **Appendix 9.5.6** using culturally appropriate methods;
 - ii. identification and utilisation of opportunities to enhance sites, values and other taonga of cultural significance to Ngāi Tahu; and

- iii. protection of the relationship of tangata whenua with freshwater, including cultural wellbeing and customary use opportunities.

14.2.68 Objective - Non-residential activities

- a. Residential activities remain the dominant activity in residential zones, whilst also recognising the need to:
 - i. provide for community facilities and home occupations which by their nature and character typically need to be located in residential zones; and
 - ii. provide for visitor accommodation in accordance with Objective 14.2.9 and Policies 14.2.9.1 to 14.2.9.4; and
 - iii. restrict other non-residential activities, unless the activity has a strategic or operational need to locate within a residential zone or is existing guest accommodation on defined sites.

Note: this objective and its subsequent policies do not apply to brownfield sites.

(Plan Change 4 Council Decision subject to appeal)

14.2.68.1 Policy - Residential coherence character and amenity

- a. Ensure that non-residential activities do not have significant adverse effects on residential coherence, character, and amenity.

Note: This policy also implements Objective 14.2.4

14.2.68.2 Policy - Community activities and community facilities

- a. Enable community activities and community facilities within residential areas to meet community needs and encourage co-location and shared use of community facilities where practicable.
- b. Enable larger scale community activities and community facilities within defined arterial locations that:
 - i. are within walking distance of the Central City and suburban commercial centres;
 - ii. front onto core public transport routes; and
 - iii. are not dominated by residential development.

Note: This policy also implements Objective 14.2.4

14.2.68.3 Policy - Home occupations

- a. Ensure that home occupations:
 - i. are secondary in scale and incidental to the residential activity on the same site; and
 - ii. avoid conflicts between incompatible activities where there may be significant adverse effects on the amenity of the residential environment or on residential activities; or

- iii. where the adverse effects are not significant, minimise adverse effects on residential activities and the amenity of the site and the surrounding residential environment.

(Plan Change 5D Council Decision)

~~14.2.6.3~~ 14.2.6.4 Policy - Existing non-residential activities

- a. Enable existing non-residential activities to continue and support their redevelopment and expansion provided they do not:
 - i. have a significant adverse effect on the character and amenity of residential zones; or
 - ii. undermine the potential for residential development consistent with the zone descriptions in Table 14.2.1.1a.

Note Advice Notes:

- 1. This policy also implements Objective 14.2.4.
- 2. Policy 14.2.6.4 does not apply to visitor accommodation. Refer to Objective 14.2.9 and Policies 14.2.9.1 to 14.2.9.4 for the relevant provisions.

(Plan Change 4 Council Decision subject to appeal)

~~14.2.6.4~~ 14.2.6.5 Policy - Other non-residential activities

- a. Restrict the establishment of other non-residential activities, especially those of a commercial or industrial nature, unless the activity has a strategic or operational need to locate within a residential zone, and the effects of such activities on the character and amenity of residential zones are insignificant.

Advice Note:

- 1. Policy 14.2.6.5 does not apply to visitor accommodation. Refer to Objective 14.2.9 and Policies 14.2.9.1 to 14.2.9.4 for the relevant provisions.

(Plan Change 4 Council Decision subject to appeal)

~~14.2.6.5~~ 14.2.6.6 Policy - Retailing in residential zones

- a. Ensure that small scale retailing, except for retailing permitted as part of a home occupation, is limited in type and location to appropriate corner sites on higher order streets in the road hierarchy.

~~14.2.6.6~~ 14.2.6.7 Policy - Memorial Avenue and Fendalton Road

- a. Maintain the war memorial and visitor gateway roles of Memorial Avenue and Fendalton Road and their very high amenity values, by limiting the establishment of non-residential

activities and associated outdoor advertising and vehicle parking on **sites** in residential zones with **frontage** to these **roads**.

Note: This policy also implements Objective **14.2.4**

~~14.2.6.7~~ **14.2.6.8 Policy – Guest accommodation**

- a. ~~In the Accommodation and Community Facilities Overlay, provide for~~ **guest accommodation within defined arterial locations that:**
 - i. ~~are within walking distance of the~~ **Central City** and suburban **commercial centres**;
 - ii. ~~front onto~~ **core public transport routes**; and
 - iii. ~~are not dominated by residential development.~~
- b. ~~In the Residential Guest Accommodation Zone, provide for the ongoing operation, intensification or redevelopment of existing~~ **guest accommodation sites**, compatible with the character and amenity of **adjoining** residential zones.

(Plan Change 4 Council Decision subject to appeal)

~~14.2.6.8~~ **14.2.6.9 Policy - Non-residential activities in Central City residential areas**

- a. Within **Central City** residential areas:
 - i. ensure non-residential activities are of a small scale and compatible with **residential activities**;
 - ii. ensure non-residential activities are focussed on meeting the needs of the local residential community or depend upon the high level of amenity inherent in the Residential Central City Zone;
 - iii. ensure new non-residential activities do not compromise the role of the Residential Central City Zone, the Central City Business Zone, or the aim of consolidating that area of the **Central City** or the Central City Mixed Use Zones;
 - iv. enable the on-going operation, use and redevelopment of existing fire service facilities; and
 - v. protect residential amenity by controlling the character, scale and intensity of non-residential activities.

~~14.2.79~~ **Objective - Redevelopment of brownfield sites**

- a. On suitable **brownfield sites**, provide for new **mixed use** commercial and residential developments that are comprehensively planned so that they are environmentally and socially sustainable over the long term.

~~14.2.79.1~~ **Policy - Redevelopment of brownfield sites**

- a. To support and incentivise the comprehensive redevelopment of **brownfield sites** for **mixed use residential activities** and **commercial activities** where:

- i. natural hazards can be mitigated;
 - ii. adequate infrastructure services and capacity are available;
 - iii. **reverse sensitivity** effects on existing industrial areas are managed;
 - iv. the safety and efficiency of the current and future **transport system** is not significantly adversely affected;
 - v. there is good walking and cycling access to public transport routes, commercial and community services, and open space;
 - vi. if necessary, **contaminated land** is remediated in accordance with national and regional standards; and
 - vii. the redevelopment does not impact on the vitality and strategic role of **commercial centres**.
- b. Ensure the redevelopment is planned and designed to achieve:
- i. high quality urban design and on-site amenity; and
 - ii. development that is integrated and sympathetic with the amenity of the adjacent neighbourhoods and **adjoining sites**.

~~14.2.8 Objective – Central City residential role, built form and amenity~~

- a. ~~A predominantly residential environment offering a range of residential opportunities, including medium to high density living, within the **Central City** to support the restoration and enhancement of a vibrant city centre;~~
- b. ~~A form of built development in the Residential Central City Zone that enables change to the existing environment, while contributing positively to the amenity and cultural values of the area, and to the health and safety, and quality and enjoyment, for those living within the area.~~

~~14.2.8.1 Policy – Building heights~~

- a. ~~Provide for different maximum **building heights** in areas of the Residential Central City Zone with some areas requiring a reduced **height** compatible with the existing predominant character.~~

~~14.2.8.2 Policy – Amenity standards~~

- a. ~~Prescribing minimum standards for residential development which:~~
 - i. ~~are consistent with higher density living;~~
 - ii. ~~protect **amenity values** for residents;~~
 - iii. ~~integrate development with the adjacent and wider neighbourhood;~~
 - iv. ~~provide for a range of current and future residential needs; and~~
 - v. ~~recognise cultural values.~~

14.2.910 Objective - Visitor Accommodation in Residential Zones

- a. Visitors and other persons requiring short-term lodging have a broad choice of types and locations that meet their needs where:
 - i. residential activity remains the predominant activity within the residential neighbourhoods;
 - ii. the character, high quality residential environment and amenity values within zones are maintained or enhanced, with minimal disturbance to neighbours;
 - iii. strategic infrastructure is protected from incompatible activities and reverse sensitivity effects;
- b. Visitor accommodation in the Residential Visitor Accommodation Zone and Accommodation and Community Facilities Overlay can establish, operate, intensify and/or redevelop in a way that is compatible with the character and amenity of adjoining residential, rural or open space zones; and does not expand the activity outside of the existing zone or overlay area into other non-commercial zones.

14.2.910.1 Policy - Visitor Accommodation in Residential Units

- a. Permit visitor accommodation in a residential unit where:
 - i. at least one permanent resident of the site is in residence for the duration of the stay;
 - ii. the number of visitors, is comparable to use by a residential household; and
 - iii. disturbance to neighbours is minimal; and
 - iv. information on letting activity is recorded and provided to the Council on request.
- b. Manage visitor accommodation in a residential unit where a permanent resident is not in residence to ensure adverse effects on the residential character, coherence and amenity of the site and its immediate surroundings are minimised including through:
 - i. controlling the scale and extent of use to ensure that the residential units are still predominantly used for residential activity;
 - ii. management of operations to minimise disturbance of neighbours, including providing contact and site management information to guests and neighbours;
 - iii. each residential block retaining a high proportion of residential activities, and each residential activity retaining a high proportion of residential neighbours.
- c. Avoid visitor accommodation in a residential unit at a scale or extent that is inconsistent with:
 - i. retaining predominantly residential character and coherence or
 - ii. minimising adverse effect on the amenity of the site and its immediate surroundings, including the disturbance of neighbours; or
 - iii. protecting strategic infrastructure from reverse sensitivity effects.

14.2.910.2 Policy - Existing Visitor Accommodation

- a. In the Residential Visitor Accommodation Zone, provide for the ongoing operation, intensification or redevelopment of existing visitor accommodation sites, compatible with the character and amenity of adjoining residential zones.

14.2.910.3 Policy - Visitor Accommodation in Defined Arterial Locations

- a. In the Accommodation and Community Facilities Overlay, provide for visitor accommodation within defined arterial locations that:
 - i. are within walking distance of the Central City and suburban commercial centres;
 - ii. front onto core public transport routes; and
 - iii. are not dominated by residential development.

14.2.910.4 Policy - Other Visitor Accommodation in Residential Zones

- a. Visitor accommodation not provided for in Policies 14.2.9.1-14.2.9.3 shall not locate in residential zones, except where the activity provides for the ongoing use of a heritage item consistent with Policy 9.3.2.2.3 and adverse amenity impacts on residential neighbours can also be minimised.

(Plan Change 4 Council Decision subject to appeal)

14.3 How to interpret and apply the rules

- a. The rules that apply to activities in the various residential zones are contained in the activity status tables (including activity specific standards) and built form standards in:
 - i. ~~Rule 14.4 – Residential Suburban Zone and Residential Suburban Density Transition Zone;~~
 - ii. Rule 14.5 – ~~Residential~~ Medium Density ~~Residential~~ Zone;
 - iii. Rule 14.6 – ~~High Density~~ Residential ~~Central City~~ Zone;
 - iv. ~~Rule 14.7 – Residential Hills Zone;~~
 - v. Rule 14.8 – Residential Banks Peninsula Zone;
 - vi. Rule 14.9 – Residential Large Lot Zone;
 - vii. Rule 14.10 – Residential Small Settlement Zone;
 - viii. Rule 14.11 – Residential ~~Guest Visitor~~ Accommodation Zone;
 - ix. Rule 14.12 – ~~Residential New Neighbourhood~~ Future Urban Zone;
 - x. Rule 14.15 - Rules - Matters of control and discretion.
- b. In relation to the Residential ~~Guest Visitor~~ Accommodation Zone, each site has been grouped into Group A, B and C sites in Appendix 14.16.11, depending on its residential context. For any activities (other than ~~guest~~ visitor accommodation (P1) and permitted activities on the YMCA

site (P3)), the applicable rules for permitted and restricted discretionary activities are those that apply in the zone listed for that site in Appendix 14.16.11, including activity specific standards, built form standards and matters of discretion. (Plan Change 4 Council Decision subject to appeal)

- c. ~~Rules that apply to the use of the enhanced development mechanism and the community housing redevelopment mechanism are contained in the activity status tables (including activity specific standards) and built form standards in:~~
 - i. ~~Rule 14.13 – Enhanced development mechanism; and~~
 - ii. ~~Rule 14.14 – Community housing redevelopment mechanism.~~
- d. ~~The areas that show where the community housing redevelopment mechanism (CHRM) can be utilised are shown on Planning Maps 18, 23, 24, 25, 26, 29, 30, 31, 32, 33, 37 and 45.~~
- e. ~~The rules that define where the enhanced development mechanism can be used are contained in the qualifying standards in Rule 14.13.2.~~
- f. ~~The information that is required for resource consent applications utilising the community housing redevelopment mechanism is set out in Rule 14.14.2.17, and for the enhanced development mechanism, in Rule 14.13.3.15.~~
- g. ~~On any particular eligible site, the provisions of the community housing redevelopment mechanism may apply, or the provisions of the zone in which the site is located may apply.~~
- h. ~~On any particular eligible site, the provisions of the enhanced development mechanism may apply, or the provisions of the zone in which the site is located may apply.~~
- i. Area specific rules also apply to activities in the following areas:
 - i. Residential Suburban Zone and Residential Suburban Density Transition Zone Medium Density Residential Zone and High Density Residential Zone:
 - A. Wigram, within the area of the diagram shown on Figure 6 (generally bounded by RNZAF Bequest Land, Awatea Road, and the Wigram aerodrome and runway);
 - B. ~~Peat Ground Condition Constraint Overlay~~
 - C. Prestons Road Retirement Village Overlay;
 - D. adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads;
 - E. adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road;
 - F. ~~Existing Rural Hamlet Overlay;~~
 - G. Stormwater Capacity Constraint Overlay;
 - H. Residential land abutting the western boundary of the Industrial Park Zone at Russley Road / Memorial Avenue;
 - I. ~~Mairehau final development area shown on Figure 5;~~ (Private Plan Change 6 Council Decision)

- J. Accommodation and Community Facilities Overlay; and
 - K. ~~Character Area qualifying matter Overlay.~~
- ii. ~~Residential Medium Density Zone:~~
- A. ~~Residential Medium Density Zone Higher Height Limit and Site Density Overlay at Deans Avenue;~~
 - B. ~~Residential Medium Density Zone Wigram (Figure 6);~~
 - C. Sumner Master Plan Overlay ([Appendix 14.16.6](#));
 - D. Sites with [frontage](#) to Bealey Avenue, Fitzgerald Avenue or Deans Avenue (south of Blenheim Road);
 - E. ~~Residential~~ Medium Density Residential Zone in the Commercial Local Zone (St Albans) Outline development plan shown as Area A in Chapter 15 [Appendix 15.15.5](#);
 - F. Accommodation and Community Facilities Overlay; ~~and~~
 - G. Character Area Overlay;~~;~~
 - H. Lyttelton Port Influences Overlay; ~~and~~
 - I. Other areas subject to a qualifying matter.
- iii. Residential Banks Peninsula Zone:
- A. ~~Lyttelton Port Influences Overlay; and~~
 - B. Character Area Overlay;~~;~~ and
 - C. Qualifying Matter Residential Character Area.
- iv. ~~Residential Hills Zone:~~
- ~~A. Character Area Overlay.~~
- v. In addition, there may be some areas where area specific rules are provided only under the built form standards.
- j. The ~~Residential New Neighbourhood Future Urban~~ Zone rules in [14.12](#) do not apply to the Meadowlands Exemplar Overlay in the Residential New Neighbourhood (North Halswell) Zone shown on [Planning Map 45](#). The rules relevant to Meadowlands Exemplar Overlay are contained in Chapter 8, see Rules [8.5.1.3](#) RD15, [8.5.1.4](#) D5 and [8.5.1.5](#) NC8.
- The ~~Residential New Neighbourhood Future Urban~~ Zone rules in [14.12](#) do not apply to Areas 1 – 4 in the ~~Residential New Neighbourhood Future Urban~~ (East Papanui) Zone shown on Planning Maps 24 and 25, other than where specified in Rule 8.5. The rules relevant to Areas 1 - 4 of the East Papanui Outline Development Plan area in [Appendix 8.10.23](#) are contained in Chapter 8, see Rules [8.5.1.3](#) RD17 ~~and RD18~~, [8.5.1.4](#) D7. The rules in [14.12](#) of this chapter do apply to Area 5 of the East Papanui Outline Development Plan area in [Appendix 8.10.23](#), in addition to the rules in Chapter 8.

- k. The activity status tables and standards in the following chapters also apply to activities in all residential zones:

- 4 Hazardous Substances and Contaminated Land;
- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Natural and Cultural Heritage;
- 11 Utilities and Energy.

l. Advice Note:

Refer to the Brothels (Location and Commercial Sexual Services Signage) Bylaw 2013 for rules and restrictions on establishing and operating a small owner-operated brothel as a home occupation.

(Plan Change 5D Council Decision)

- m. **There are parts of the Medium Density and High Density Residential Zones where the permitted development, height and/or density directed by the MDRS or the NPS-UD may be modified by qualifying matters. These are identified in detail in Chapter 6. 1A and the Planning Maps, and include the following:**

- i. **Historic Heritage including heritage items, heritage settings, Residential Heritage Area, Residential Heritage Area Interface, and Riccarton Bush Interface Area.**
- ii. **Heritage, Significant and other Trees**
- iii. **Sites of Ecological Significance**
- iv. **Outstanding Natural Features and Landscapes**
- v. **Sites of Cultural Significance**
- vi. **Residential Character Areas**
- vii. **High Flood Hazard Management Area**
- viii. **Flood Ponding Management Area**
- ix. **Coastal Hazard High Risk Management Area and Coastal Hazard Medium Risk Management Area**
- x. **Slope Hazard**
- xi. **Waterbody Setback**
- xii. **Railway Building Setback**
- xiii. **Electricity Transmission Corridor and Infrastructure**
- xiv. **Airport Noise Influence Area**
- xv. **Waste Water Constraint Area**
- xvi. **Lyttelton Port Influence Area**

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in **green** font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in **purple** is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in **blue** font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

Chapter 14 Residential

14.4 Rules - ~~Residential Suburban Zone and Residential Suburban Density Transition Zone~~ **Low Density Residential Airport Influence Zone and Airport Influence Density Precinct**

14.4.1 Activity status tables

14.4.1.1 Permitted activities

- The activities listed below are permitted activities in the ~~Residential Suburban Zone~~ **Low Density Residential Airport Influence Zone** and ~~Residential Suburban Density Transition Zone~~ **Airport Influence Density Precinct** if they meet the activity specific standards set out in this table, the built form standards in Rule [14.4.2](#), and the area specific rules in Rule [14.4.3](#).
- Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.4.1.2](#), [14.4.1.3](#), [14.4.1.4](#), [14.4.1.5](#), and [14.4.1.6](#) or in the area specific rules in Rule [14.4.3](#)

Activity		Activity specific standards
P1	Residential activity , except for residential units containing more than six bedrooms and boarding houses	<ol style="list-style-type: none">No more than one heavy vehicle shall be stored on the site of the residential activity.Any motor vehicles and/or boats dismantled, repaired or stored on the site of the residential activity shall be owned by people who live on the same site.

P2	Minor residential unit where the minor unit is a detached building and the existing site it is to be built on contains only one residential unit	<p>a. The existing site containing both units shall have a minimum net site area of 450m².</p> <p>b. The minor residential unit shall have a minimum gross floor area of 35m² and a maximum gross floor area of 80m².</p> <p>c. The parking areas of both units shall be accessed from the same access.</p> <p>d. This requirement replaces the general outdoor living space requirements set out in Rule 14.4.2.5. There shall be a total outdoor living space on the existing site (containing both units) with a minimum area of 90m² and a minimum dimension of 5 metres. This total space can be provided as:</p> <ul style="list-style-type: none"> i. a single continuous area; or ii. be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area. 															
P3	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing up to 6 bedrooms	Nil															
P4	Multi-unit residential complexes within the Residential Suburban Density Transition Zone Airport Influence Density Precinct – up to and including four residential units.	<p>a. The minimum net floor area (including toilets and bathrooms, but excluding parking area, garages or balconies) for any residential unit in the complex shall be:</p> <table border="1"> <thead> <tr> <th></th><th>Number of bedrooms</th><th>Minimum Net floor area</th></tr> </thead> <tbody> <tr> <td>i.</td><td>Studio.</td><td>35m²</td></tr> <tr> <td>ii.</td><td>1 Bedroom.</td><td>45m²</td></tr> <tr> <td>iii.</td><td>2 Bedrooms.</td><td>60m²</td></tr> <tr> <td>iv.</td><td>3 or more Bedrooms</td><td>90m²</td></tr> </tbody> </table>		Number of bedrooms	Minimum Net floor area	i.	Studio.	35m ²	ii.	1 Bedroom.	45m ²	iii.	2 Bedrooms.	60m ²	iv.	3 or more Bedrooms	90m ²
	Number of bedrooms	Minimum Net floor area															
i.	Studio.	35m ²															
ii.	1 Bedroom.	45m ²															
iii.	2 Bedrooms.	60m ²															
iv.	3 or more Bedrooms	90m ²															
P5	Social housing complexes – up to and including four residential units.	<p>b. Any residential unit fronting a road or public open space shall have a habitable space located at the ground level, and at least 50% of all residential units within a complex shall have a habitable space located at the ground level.</p> <p>c. Each of these habitable spaces located at the ground level shall have a minimum floor area of 9m² and a minimum internal dimension of three metres and be internally accessible to the rest of the unit.</p>															

P6	Older person's housing unit	a. Any older person's housing unit shall have a maximum gross floor area of 120m ² .
P7	Retirement villages	a. Building façade length – there must be a recess in the façade of a building where it faces a side or rear boundary from the point at which a building exceeds a length of 16 metres. The recess must: <ul style="list-style-type: none"> i. be at least 1 metre in depth, for a length of at least 2 metres; ii. be for the full height of the wall; and iii. include a break in the eave line and roof line of the façade.
P8	Conversion of an elderly person's housing unit existing at 6 December 2013, into a residential unit that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument (P8 only applies until 30 April 2018)	a. There shall be no reduction in the areas and dimensions of the lawfully established outdoor living space associated with each unit.
P9	Conversion of a family flat existing at 6 December 2013 into a residential unit that may be occupied by any person(s) and without the need to be encumbered by a legal instrument	a. Each converted flat shall have a minimum gross floor area, excluding terraces, garages, sun decks, and verandahs, of 35m ² . b. This requirement replaces the general outdoor living space requirements set out in Rule 14.4.2.5. There shall be a total outdoor living space on the existing site (containing the residential unit and the family flat) with a minimum area of 90m ² and a minimum dimension of 5 metres. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m ² in area.
P10	Conversion of a residential unit (within, or as an extension to, a residential unit) into two residential units	a. Each residential unit shall have a minimum gross floor area, excluding terraces, garages, sun decks and verandahs, of 35m ² . b. This requirement replaces the general outdoor living space requirements set out in Rule 14.4.2.5. There shall be a total outdoor living space on the existing site with a minimum area of 90m ² and a minimum dimension of 5 metres. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m ² in area.

		<p>c. The residential unit to be converted shall be outside:</p> <ul style="list-style-type: none"> i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch and Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”; as shown in Appendix 14.16.5; ii. the Riccarton Wastewater Interceptor Overlay identified on the Planning Maps 38, 37, 31, 30, 23; except after the completion of infrastructure work to enable capacity in the identified lower catchment; and iii. any Flood Management Area.
P11	Replacement of a residential unit with two residential units	<ul style="list-style-type: none"> a. The existing site shall be occupied by one residential unit and that residential unit has been, or will be, demolished because the insurer(s) of that unit have determined that the residential unit was uneconomic to repair because of earthquake damage. b. The existing site shall be outside: <ul style="list-style-type: none"> i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch and Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”; as shown in Appendix 14.16.5; ii. the Riccarton Wastewater Interceptor Overlay identified on the Planning Maps 38, 37, 31, 30, 23; except after the completion of infrastructure work to enable capacity in the identified lower catchment; and iii. any Flood Management Area. c. This requirement replaces the general outdoor living space requirements set out in Rule 14.4.2.5. There shall be a total outdoor living space on the existing site with a minimum area of 90m² and minimum dimension of 5 metres. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area.

<p>P12</p>	<p>Construction of two residential units on a site that was vacant prior to the Canterbury earthquakes of 2010 and 2011</p>	<p>a. The existing site shall be outside:</p> <ul style="list-style-type: none"> i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch an Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”; as shown in Appendix 14.16.5; ii. the Riccarton Wastewater Interceptor Overlay identified on the Planning Maps 38, 37, 31, 30, 23; except after the completion of infrastructure work to enable capacity in the identified lower catchment; and iii. any Flood Management Area. <p>b. This requirement replaces the general outdoor living space requirements set out in Rule 14.4.2.5. There shall be a total outdoor living space on the existing site with a minimum area of 90m² and minimum dimension of 5 metres. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area.</p>
<p>P13</p>	<p>Home occupation (Proposed Plan Change 5D subject to Council Decision)</p>	<p>a. The <u>gross total</u> floor area of the <u>building or part of the building (measured internally)</u>, plus the area used for any outdoor storage area, occupied by the home occupation shall be <u>less no more</u> than 40m².</p> <p>b. The maximum number of FTE persons employed in the home occupation, who reside permanently elsewhere than on the site, shall be two.</p> <p>c. Any retailing retail activity shall be limited to:</p> <ul style="list-style-type: none"> i. the sale of goods grown or produced on the site;₂ ii. <u>goods incidental to an on-site service provided by the home occupation where the goods storage and/or display occupies no more than 1m² of floor area</u>; or iii. internet-based sales where no customer visits occur;₂ <u>and</u> iv. <u>retail activity shall exclude food and beverage outlets.</u> <p>d. <u>Manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out in a fully enclosed building.</u></p>

		<p>e. The hours of operation, when the site is open to visitors, clients, and deliveries, shall be limited to between the hours of:</p> <ul style="list-style-type: none"> i. 07:00 – 21:00 Monday to Friday; and ii. 08:00 – 19:00 Saturday, Sunday and public holidays. <p>f. Visitor, courier vehicle and or staff parking areas shall be within the net site area of the property and outside the road boundary setback.</p> <p>g. Vehicle movements associated with the home occupation shall not exceed:</p> <ul style="list-style-type: none"> i. heavy vehicles: 2 per week; and ii. other vehicles: 16 per day. <p>h. Outdoor advertising Signage shall be limited to a maximum area of 20.5m², except that where the activity is located on sites with frontage to Memorial Avenue or Fendalton Road there shall be no signage.</p>
P14	Care of non-resident children within a residential unit in return for monetary payment to the carer	<p>a. There shall be:</p> <ul style="list-style-type: none"> i. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and ii. at least one carer residing permanently within the residential unit.
P15	Bed and breakfast	<p>a. There shall be:</p> <ul style="list-style-type: none"> i. a maximum of six guests accommodated at any one time; ii. at least one owner of the residential unit residing permanently on site; and iii. no guest given accommodation for more than 90 consecutive days.
P16	Education activity	<p>a. The activity shall:</p> <ul style="list-style-type: none"> i. only locate on sites with frontage and the primary entrance to a minor arterial road or collector road where: <ul style="list-style-type: none"> A. a right turn offset, either informal or formal, is available, or; B. a solid median prevents right turns into or out of the primary entrance.
P17	Preschools , other than as provided for in Rule 14.4.1.1 P14.	
P18	Health care facility	
P19	Veterinary care facility	

P20

Places of assembly, except at Kate Sheppard House, 83 Clyde Road, where Rule 14.4.3.1.1 P3 applies

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ii.

only occupy a gross floor area of building of less than 200m², or in the case of a health care facility, less than 300m²;

iii.

limit outdoor advertising to a maximum area of 2m²;

iv.

limit the hours of operation when the site is open to visitors, students, patients, clients, and deliveries to between the hours of:

<div>A. Education activity</div>	<div>I. 07:00 – 21:00 Monday to Saturday; and II. Closed Sunday and public holidays.</div>
<div>B. Preschools</div>	<div>I. 07:00 – 21:00 Monday to Friday, and II. 07:00 – 13:00 Saturday, Sunday and public holidays.</div>
<div>C. Health care facility</div>	<div>I. 07:00 – 21:00.</div>
<div>D. Veterinary care facility</div>	
<div>E. Places of assembly</div>	

v.

in relation to preschools, limit outdoor play areas and facilities to those that meet Rule 6.1.5.2.1 Table 1: Zone noise limits outside the Central City;

vi.

in relation to preschools, veterinary care facilities and places of assembly (see Figure 1):

A.

only locate on sites where any residential activity on an adjoining front site, or front site separated by an access, with frontage to the same road is left with at least one residential neighbour. That neighbour shall be on an adjoining front site, or front site separated by an access, and have frontage to the same road; and

B.

only locate on residential blocks where there are no more than two non-residential activities already within that block;

vii.

in relation to veterinary care facilities, limit the boarding of animals on the site to a maximum of four;

		<p>viii. in relation to places of assembly, entertainment activities shall be closed Sunday and public holidays;</p> <p>ix. in relation to noise sensitive activities, not be located within the 50 dB _{L_{dn}} Air Noise Contour and the Qualifying Matter Airport Noise Influence Area as shown on the planning maps; and</p> <p>x. not include the storage of more than one heavy vehicle on the site of the activity.</p>
P21	Spiritual activities	<p>a. The activity shall:</p> <p>i. limit the hours of operation to 07:00-22:00; and</p> <p>ii. not include the storage of more than one heavy vehicle on the site of the activity.</p>
P22	Community corrections facilities	<p>a. The facility shall:</p> <p>i. limit the hours of operation when the site is open to clients and deliveries to between the hours of 07:00 – 19:00; and</p> <p>ii. limit signage to a maximum area of 2m².</p>
P23	Community welfare facilities	
P24	Emergency service facilities	Nil
P25	Repair or rebuild of multi-unit residential complexes damaged by the Canterbury earthquakes of 2010 and 2011 on properties with cross leases, company leases or unit titles as at the date of the earthquakes.	<p>a. Where the repair or rebuild of a building will not alter the building footprint, location, or height, the building need not meet the built form standards.</p> <p>b. Where the building footprint, location, or height is to be altered no more than necessary in order to comply with legal or regulatory requirements or the advice of a suitably qualified and experienced chartered engineer:</p> <p>i. the only built form standards that shall apply are those specified in Rules 14.4.2.3 – Building height and 14.4.2.6 – Daylight recession planes;</p> <p>ii. in relation to the road boundary setback, the repaired or rebuilt building shall have a setback of at least 3 metres;</p> <p>iii. the standards at (i) and (ii) shall only apply to the extent that the repaired or rebuilt building increases the level of non-compliance with the standard(s) compared to the building that existed at the time of the earthquakes.</p> <p>Advice note:</p> <p>1. Examples of regulatory or legal requirement that may apply include the New Zealand Building Code, Council bylaws, easements, and other rules within this Plan</p>

		<p>such as the requirements for minimum floor levels in Chapter 5.</p> <p>c. If paragraphs a. and b. do not apply, the relevant built form standards apply.</p> <p>d. Any application arising from not meeting standards a. and b.i. shall not be publicly notified, and may be limited notified to adjoining property owners (where the consent authority considers this is required, and absent written approval).</p> <p>e. Any application arising from not meeting standard b.ii. (road boundary setbacks), shall not be limited or publicly notified.</p>
P26	<p>a. Temporary lifting or moving of earthquake damaged buildings where the activity does not meet one or more of Rules:</p> <ul style="list-style-type: none"> i. 14.4.2.3 – Building height; ii. 14.4.2.4 – Site coverage; iii. 14.4.2.5 – Outdoor living space; iv. 14.4.2.6 – Daylight recession planes; or v. 14.4.2.7 – Minimum building setbacks from internal boundaries and railway lines. 	<p>a. Buildings shall not be:</p> <ul style="list-style-type: none"> i. moved to within 1 metre of an internal boundary and/or within 3 metres of any water body, scheduled tree, listed heritage item, areas listed as Sites of Ecological Significance (in Sub-chapter 9.1), Natural Landscapes, Features or Character (in Sub-chapter 9.2), or Sites of Ngāi Tahu Cultural Significance (in Sub-chapter 9.5), any Council owned structure, archaeological site, or the coastal marine area; or ii. lifted to a height exceeding 3 metres above the applicable recession plane or height control. <p>b. The building must be lowered back or moved back to its original position, or a position compliant with the District Plan or consistent with a resource consent, within 12 weeks of the lifting or moving works having first commenced.</p> <p>c. In all cases of a building being moved or lifted, the owners/occupiers of land adjoining the sites shall be informed of the work at least seven days prior to the lift or move of the building occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The Council's Resource Consents Manager shall be notified of the lifting or moving the building at least seven days prior to the lift or move of the building occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>
P27	Relocation of a building	Nil
P28	Market gardens, community gardens, and garden allotments	

P29	Hosted visitor accommodation	<ul style="list-style-type: none"> a. A maximum of six guests shall be accommodated at any one time. b. The Council shall be notified in writing prior to commencement. c. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request. d. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.
P30	Visitor accommodation in a heritage item	<ul style="list-style-type: none"> a. A permanent resident or manager/supervisor for the property shall be in residence on the site for the duration of any visitors' stays. b. A maximum of ten guests shall be accommodated at any one time. c. The Council shall be notified in writing prior to commencement. d. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request. e. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.

(Plan Change 4 Council Decision subject to appeal)

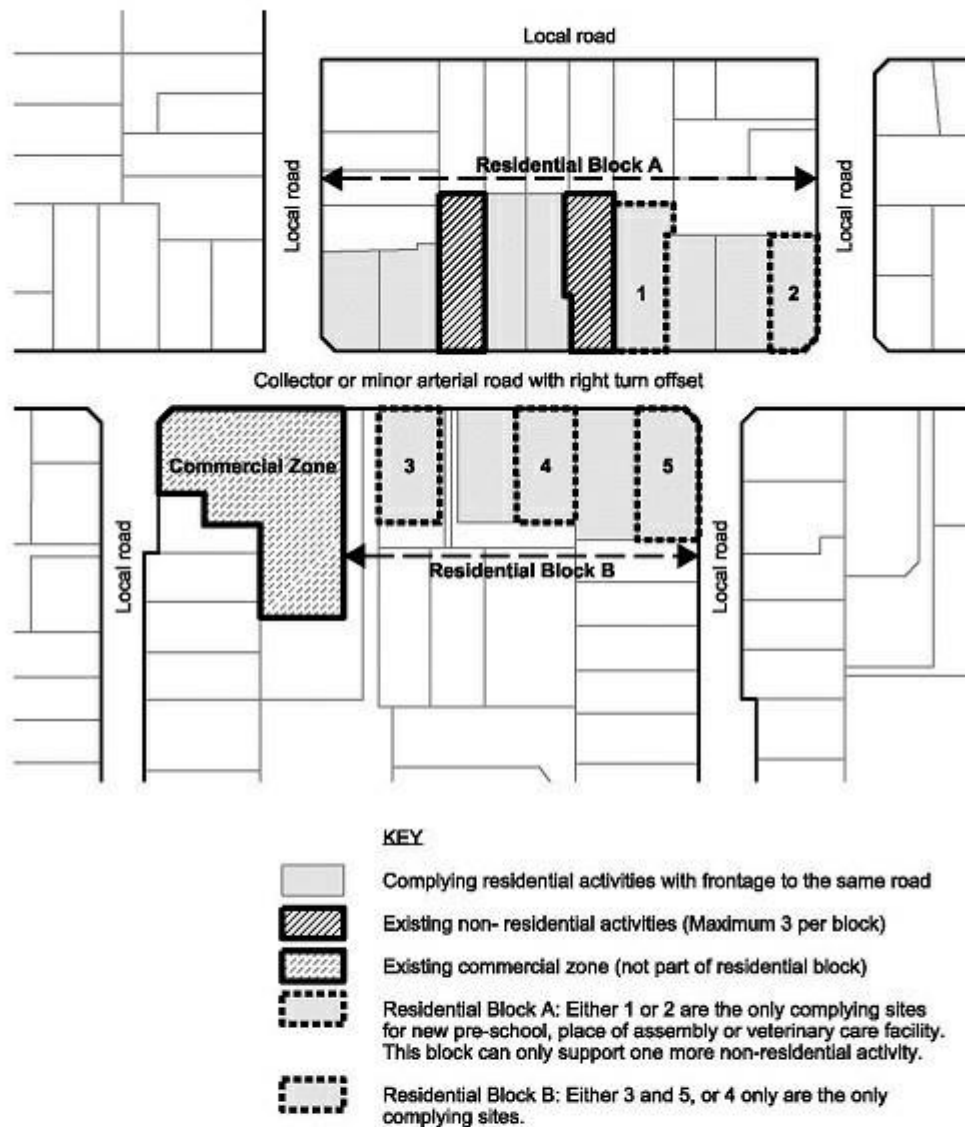


Figure 1: Residential coherence

14.4.1.2 Controlled activities

- a. The activities listed below are controlled activities.
- b. Unless otherwise specified, any application arising from the controlled activity rules listed below shall not be limited or publicly notified.
- c. Discretion to impose conditions is restricted to the matters over which control is reserved in Rule 14.15, as set out in the following table.

Activity		The matters over which Council reserves its control:
C1	Fences that do not meet Rule 14.4.2.10 – Street scene amenity and safety - fences	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
C2	Residential units (including any sleep-outs) containing more than six bedrooms in total (Proposed Plan Change 5D subject to Council Decision)	a. Scale and nature of activity – Rule 14.15.5 b. Traffic generation and access safety – Rule 14.15.6
C3	Multi-unit residential complexes and social housing complexes that do not meet Rule 14.4.2.2 – Tree and garden planting	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
C4	Multi-unit residential complexes and social housing complexes that do not meet Rule 14.4.2.12 – Service, storage and waste management spaces	a. Service, storage and waste management spaces – Rule 14.15.19
C5	Social housing complexes, where the complex does not meet one or more of the activity specific standards in Rule 14.4.1.1 P5 b. or c.	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
C6	Multi-unit residential complexes in the Residential Suburban Density Transition Zone Airport Influence Density Precinct, where the complex does not meet one or more of the activity specific standards in Rule 14.4.1.1 P4 b. or c.	
C7	Unhosted visitor accommodation: a. For a total per site of 60 nights or fewer per year; b. for a maximum of six guests at any one time.	a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles

		f. Building access arrangements and wayfinding g. Controls on the effects and scale of functions or events h. Controls on check-in and check-out times.
C8	Visitor accommodation in a heritage item that does not comply with activity specific standard (a) in Rule 14.4.1.1 P30.	a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles f. Building access arrangements and wayfinding g. Controls on the effects and scale of functions or events h. Controls on check-in and check-out times.

(Plan Change 4 Council Decision subject to appeal)

14.4.1.3 Restricted discretionary activities

- The activities listed below are restricted discretionary activities.
- Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in Rule 14.15, or as specified, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	Residential unit in the Residential Suburban Zone Low Density Residential Airport Influence Zone contained within its own separate site with a net site area between 400 and 450m ²	a. Site density and site coverage – Rule 14.15.2
RD2	Residential unit in the Residential Suburban Density Transition Zone Airport Influence Density Precinct contained within its own separate site with a net site area between 300m ² and 330m ²	
RD3	Minor residential unit where the minor unit is a detached building and does not meet one or more of the activity specific standards in Rule 14.4.1.1 P2 a., b., c., and d.	a. Minor residential units - Rule 14.15.22
RD4	Conversion of a residential unit (within or as an extension to a residential unit) into two residential	

Activity		The Council's discretion shall be limited to the following matters:
	units that does not meet one or more of the activity specific standards in Rule 14.4.1.1 P10 a. and b.	
RD5	Social housing complexes, where any residential unit in the complex does not meet activity specific standard Rule 14.4.1.1 P5 a.	a. Minimum unit size and unit mix – Rule 14.15.4
RD6	Multi-unit residential complexes in the Residential Suburban Density Transition Zone where any residential unit in the complex does not meet activity specific standard Rule 14.4.1.1 P4 a.	
RD7	Social housing complexes – over four residential units	a. Residential design principles – Rule 14.15.1
RD8	Multi-unit residential complexes in Residential Suburban Density Transition Zone <u>Airport Influence Density Precinct</u> – over four residential units	
RD9	Older person's housing units that do not meet activity specific standard in Rule 14.4.1.1 P6 a.	a. Scale <u>and nature</u> of activity - Rule 14.15.5
RD10	Retirement villages that do not meet one or more of the activity specific standards in Rule 14.4.1.1 P7	a. Retirement villages - Rule 14.15.9
RD11	Boarding house	a. Scale <u>and nature</u> of activity - Rule 14.15.5 b. Traffic generation and access safety - Rule 14.15.6
RD12	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing 7 to 9 bedrooms	a. Scale <u>and nature</u> of activity – Rule 14.15.5
RD13	a. Convenience activities where: <ul style="list-style-type: none"> i. the site is located on the corner of a minor arterial road that intersects with either a minor arterial road or collector road; ii. the total area occupied by retailing on the site is no more than 50m² public floor area; iii. the activity does not include the sale of alcohol; iv. outdoor advertising is limited to no more than 2m² and shall be within the road boundary setback; v. the hours of operation when the site is open to business visitors or clients are limited to between the hours of 07:00 – 22:00 Monday to Sunday and public holidays; and 	a. Residential design principles - Rule 14.15.1 b. Scale <u>and nature</u> of activity – Rule 14.15.5 c. Non-residential hours of operation – Rule 14.15.21 d. Traffic generation and access safety – Rule 14.15.6

Activity		The Council's discretion shall be limited to the following matters:
	vi. there is no provision of on-site parking area for visitors or service purposes.	
RD14	<p>a. Integrated family health centres where:</p> <ul style="list-style-type: none"> i. the centre is located on sites with frontage and the primary entrance to a minor arterial road or collector road where right turn offset, either informal or formal is available; ii. the centre is located on sites adjoining a Neighbourhood centre, District centre or Key activity centre; iii. the centre occupies a gross floor area of building of between 301m² and 700m²; iv. outdoor advertising signage is limited to a maximum area of 2m²; and v. the hours of operation when the site is open to patients, or clients, and deliveries is limited to between the hours of 07:00 – 21:00. 	<ul style="list-style-type: none"> a. Scale and nature of activity - Rule 14.15.5 b. Traffic generation and access safety - Rule 14.15.6 c. Non-residential hours of operation - Rule 14.15.21
RD15	<p>a. Animal shelter at 14 and 18 Charlesworth Street.</p> <p>b. Any application arising from this rule shall not be publicly notified and may be limited notified only to directly abutting landowners and occupiers (where the consent authority considers this is required, and absent their written approval).</p>	<p>a. Scale and nature of activity – Rule 14.15.5</p> <p>b. Traffic generation and access safety – Rule 14.15.6</p> <p>c. Non-residential hours of operation – Rule 14.15.21</p>
RD16	<ul style="list-style-type: none"> a. Spiritual activities that do not meet the hours of operation in Rule 14.4.1.1 P21. b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to directly abutting land owners and occupiers (absent their written approval). 	<ul style="list-style-type: none"> a. Non-residential hours of operation – Rule 14.15.21
RD17	<ul style="list-style-type: none"> a. Community corrections facilities and community welfare facilities that do not meet one or more of the activity specific standards in Rule 14.4.1.1 P22 or P23. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. As relevant to the activity specific standard that is not met: <ul style="list-style-type: none"> i. Scale and nature of activity – Rule 14.15.5 ii. Traffic generation and access safety – Rule 14.15.6 iii. Non-residential hours of operation – Rule 14.15.21

Activity		The Council's discretion shall be limited to the following matters:
RD18	<ul style="list-style-type: none"> a. Temporary lifting or moving of earthquake damaged buildings that does not meet one or more of the activity specific standards in Rule 14.4.1.1 P26. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. Relocation of a buildings and temporary lifting or moving of earthquake damaged buildings – Rule 14.15.16
RD19	Buildings that do not meet Rule 14.4.2.3 – Building height	<ul style="list-style-type: none"> a. Impacts on neighbouring property – Rule 14.15.3
RD20	Buildings that do not meet Rule 14.4.2.6 – Daylight recession planes	
RD21	<ul style="list-style-type: none"> a. Activities and buildings that do not meet Rule 14.4.2.4 – Site coverage where the site coverage is between 35% and 40%. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. Site density and site coverage – Rule 14.15.2
RD22	<ul style="list-style-type: none"> a. Multi-unit residential complexes, social housing complexes, and older person's housing units that do not meet Rule 14.4.2.4 – Site coverage, where the site coverage is between 40-45% (calculated over the net site area of the site of the entire complex or group of units). b. Any application arising from this rule shall not be limited or publicly notified. 	
RD23	<ul style="list-style-type: none"> a. Market gardens where the site coverage exceeds 55%. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. Site density and site coverage – Rule 14.15.2
RD24	<ul style="list-style-type: none"> a. Residential units that do not meet Rule 14.4.2.5 – Outdoor living space. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. Outdoor living space – Rule 14.15.20
RD25	<ul style="list-style-type: none"> a. Buildings that do not meet Rule 14.4.2.9 – Road boundary building setback. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
RD26	Buildings that do not meet Rule 14.4.2.7 – Minimum building setbacks from internal boundaries and railway lines, other than Rule 14.4.2.7(vi) (refer to Rule 14.4.1.3 RD28)	<ul style="list-style-type: none"> a. Impacts on neighbouring properties – Rule 14.15.3 b. Minimum building, window and balcony setbacks – Rule 14.15.18
RD27	Buildings that do not meet Rule 14.4.2.8 – Minimum setback and distance to living area windows and	

Activity		The Council's discretion shall be limited to the following matters:
	balconies and living space windows facing internal boundaries	
RD28	Buildings that do not meet Rule 14.4.2.7(vi) relating to rail corridor boundary setbacks\	a. Whether the reduced setback from the rail corridor will enable buildings to be maintained without requiring access above, over, or on the rail corridor.
RD29	a. Residential units that do not meet Rule 14.4.2.11 – Water supply for firefighting. b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to the New Zealand Fire Service (absent its written approval).	a. Water supply for fire fighting – Rule 14.15.7
RD30	a. Activities and buildings that do not meet one or more of the activity specific standards in Rule 14.4.1.1 (except for P16 - P18 standard ix. relating to noise sensitive activities in the 50 dB _{L_{dn}} Air Noise Contour and the Qualifying Matter Airport Noise Influence Area , refer to Rule 14.4.1.3 RD34; or P16-P19 standard x. relating to storage of heavy vehicles, refer to Rule 14.4.1.4 D2) for: <ul style="list-style-type: none"> i. P13 Home occupations: <ul style="list-style-type: none"> A. <u>that do not meet standard a. and occupy a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area, no greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings;</u> B. <u>that do not meet one or more of standards b. to h.</u> ii. P16 Education activity iii. P17 Preschools, other than as provided for in Rule 14.4.1.1 P14 and Rule 14.4.1.4 D2; iv. P18 Health care facility; v. P19 Veterinary care facility. b. Any application arising from this rule shall not be limited or publicly notified. (Proposed Plan Change 5D subject to Council Decision)	a. As relevant to the activity specific standard that is not met: <ul style="list-style-type: none"> i. Scale and nature of activity - Rule 14.15.5 ii. Traffic generation and access safety - Rule 14.15.6 iii. Non-residential hours of operation – Rule 14.15.21

Activity	The Council's discretion shall be limited to the following matters:
RD31 <ul style="list-style-type: none"> a. Activities and buildings that do not meet one or more of Rule 14.4.1.1 P10 standard c.iii, or Rule 14.4.1.1 P11 standard b.iii, or Rule 14.4.1.1 P12 standard a.iii. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. The setting of the minimum floor level. b. The frequency at which any proposal is predicted to be flooded and the extent of damage likely to occur in such an event. c. Any proposed mitigation measures, and their effectiveness and environmental impact, including any benefits associated with flood management. d. Any adverse effects on the scale and nature of the building and its location in relation to neighbouring buildings, including effects the privacy of neighbouring properties as a result of the difference between minimum and proposed floor levels, and effects on streetscape.
RD32 <ul style="list-style-type: none"> a. Activities and buildings that do not meet one or more of Rule 14.4.1.1 P10 standard c.ii, or P11 standard b.ii., or P12 standard a.ii. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. Whether there is adequate capacity in the wastewater system to provide for the additional residential activity.
RD33 Retirement villages that do not meet Rule 14.4.2.4 – Site coverage, where the site coverage is greater than 45% (calculated over the net site area of the site of the entire village).	<ul style="list-style-type: none"> a. Retirement villages – 14.15.9.
RD34 <ul style="list-style-type: none"> a. The following activities and facilities located within the 50 dB L_{dn} Air Noise Contour and the Qualifying Matter Airport Noise Influence Area as shown on the Planning Maps: <ul style="list-style-type: none"> i. Residential activities which are not provided for as a permitted or controlled activity; ii. Education activities (Rule 14.4.1.1 P16); iii. Preschools (Rule 14.4.1.1 P17); or 	<ul style="list-style-type: none"> a. The extent to which effects, as a result of the sensitivity of activities to current and future noise generation from aircraft, are proposed to be managed, including avoidance of any effect that may limit the operation, maintenance or

Activity		The Council's discretion shall be limited to the following matters:
	<p>iv. Health care facilities (Rule 14.4.1.1 P18)</p> <p>v. Visitor accommodation in a heritage item Rule 14.4.1.1 P30).</p> <p>b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Christchurch International Airport Limited (absent its written approval).</p>	<p>upgrade of Christchurch International Airport.</p> <p>b. The extent to which appropriate indoor noise insulation is provided with regard to Appendix 14.16.4.</p>

(Proposed Plan Change 5D subject to Council Decision)

(Plan Change 4 Council Decision subject to appeal)

14.4.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

Activity	
D1	Any activity not provided for as a permitted, controlled, restricted discretionary, or non-complying activity
D2	<p>a. Activities that do not meet one or more of the activity specific standards in Rule 14.4.1.1 for:</p> <p>i. P1 Residential activity;</p> <p>ii. P8 Conversion of an elderly person's housing unit into a residential unit;</p> <p>iii. P14 Care of non-resident children in a residential unit;</p> <p>iv. P15 Bed and breakfast;</p> <p>v. P20 Places of assembly; or</p> <p>vi. Storage of more than one heavy vehicle for P16-P19 and P21.</p>
D3	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing 10 or more bedrooms
D4	Show homes
D5	Integrated family health centres which do not meet one of more of the requirements specified in Rule 14.4.1.3 RD14
D6	Multi-unit residential complexes in Residential Suburban Zones Low Density Residential Airport Influence Zones
D7	<p>a. Hosted visitor accommodation that does not comply with activity specific standards in Rule 14.4.1.1 P29 and that does not exceed twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D8	<p>a. Unhosted visitor accommodation that does not comply with Rule 14.4.1.2 C7 and that does not exceed twelve guests per site at any one time.</p>

Activity	
	b. Any application arising from this rule shall not be publicly notified but may be limited notified.
D9	<p>a. Visitor accommodation in a heritage item that does not comply with activity specific standards (b) – (e) in Rule 14.4.1.1 P30 and that does not exceed twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D10	<u>Home occupation with a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area occupied, greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings.</u>

(Plan Change 4 Council Decision subject to appeal)

(Proposed Plan Change 5D subject to Council Decision)

14.4.1.5 Non-complying activities

a. The activities listed below are non-complying activities.

Activity	
NC1	Any non-residential activity, <u>other than a home occupation</u> , located on a site with frontage to Memorial Avenue or Fendalton Road. (Proposed Plan Change 5D subject to Council Decision)
NC2	Residential units in the Residential Suburban Zone Low Density Residential Airport Influence Zone that do not meet Rule 14.4.2.1, where the residential unit is contained within a site with a net site area of less than 400m ² net site area.
NC3	Residential units in the Residential Suburban Density Transition Zone Airport Influence Density Precinct that do not meet Rule 14.4.2.1, where the residential unit is contained within a site with a net site area of less than 300m ² net site area
NC4	Activities and buildings that do not meet Rule 14.4.2.4 where the site coverage exceeds 40% (except as provided for in Rule 14.4.1.5 NC5)
NC5	Multi-unit residential complexes, social housing complexes and older person's housing units that do not meet Rule 14.4.2.4, where the site coverage exceeds 45% (calculated over the net site area of the site of the entire complex or group of units)
NC6	<p>a. Sensitive activities and buildings (excluding accessory buildings associated with an existing activity):</p> <p>i. within 12 metres of the centre line of a 110kV or 220kV National Grid transmission line or within 12 metres of the foundation of an associated support</p>

Activity	
	<p>structure; or</p> <ul style="list-style-type: none"> ii. within 10 metres of the centre line of a 66kV National Grid transmission line or within 10 metres of a foundation of an associated support structure; or <p>b. Fences within 5 metres of a National Grid transmission line support structure foundation.</p> <p>c. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Transpower New Zealand Limited (absent its written approval).</p> <p>Advice note:</p> <ul style="list-style-type: none"> 1. The National Grid transmission lines are shown on the planning maps. 2. Vegetation to be planted around the National Grid should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003. 3. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to National Grid transmission lines. Buildings and activity in the vicinity of National Grid transmission lines must comply with NZECP 34:2001.
NC7	<p>a. Sensitive activities and buildings (excluding accessory buildings associated with an existing activity):</p> <ul style="list-style-type: none"> i. within 10 metres of the centre line of a 66kV electricity distribution line or within 10 metres of a foundation of an associated support structure; or ii. within 5 metres of the centre line of a 33kV electricity distribution line or within 5 metres of a foundation of an associated support structure; or iii. within 5 metres of the centre line of the 11kV Heathcote to Lyttelton electricity distribution line (except that this shall not apply to any underground section) or within 5 metres of a foundation of an associated support structure. <p>b. Fences within 5 metres of a 66kV or 33kV electricity distribution line support structure foundation.</p> <p>c. Fences within 5 metres of an 11kV Heathcote to Lyttelton electricity distribution line support structure foundation.</p> <p>d. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Orion New Zealand Limited or other electricity distribution network operator (absent written approval).</p> <p>Advice note:</p> <ul style="list-style-type: none"> 1. The electricity distribution lines are shown on the planning maps. 2. Vegetation to be planted around electricity distribution lines should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003.

Activity	
	3. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to electricity distribution lines. Buildings and activity in the vicinity of electricity distribution lines must comply with NZECP 34:2001.
NC8	<p>a. Visitor accommodation that is:</p> <ul style="list-style-type: none"> i. not hosted visitor accommodation, unhosted visitor accommodation or visitor accommodation in a heritage item; ii. hosted visitor accommodation that exceeds the maximum number of guests in Rule 14.4.1.4 D7; iii. Unhosted visitor accommodation that exceeds the maximum number of guests in Rule 14.4.1.4 D8; and iv. Visitor accommodation in a heritage item that exceeds the maximum number of guests in Rule 14.4.1.4 D9. <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>

(Plan Change 4 Council Decision subject to appeal)

14.4.1.6 Prohibited activities

There are no prohibited activities.

14.4.2 Built form standards

14.4.2.1 Site density

- a. Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Activity	Standard
i.	Residential Suburban Zone Low Density Residential Airport Influence Zone (excluding residential units established under Rule 14.4.1.1 P8, P9, P10, P11 and P12)	450m ²
ii.	Residential Suburban Density Transition Zone Airport Influence Density Precinct (excluding residential units established under Rule 14.4.1.1 P8, P9, P10, P11 and P12)	330m ²
iii.	Social housing complexes	There shall be no minimum net site area
iv.	Multi-unit residential complexes	

	Activity	Standard
v.	Older person's housing units	for any site for any residential unit or older person's housing unit
vi.	Retirement village	

14.4.2.2 Tree and garden planting

- a. For multi-unit residential complexes and social housing complexes only, sites shall include the following minimum tree and garden planting:
- i. a minimum of 20% of the site shall be provided for landscaping (which may include private or communal open space), where
 - A. at least 50% of the landscaping shall be trees and shrubs, and
 - B. a minimum of one tree for every 250m² of gross site area (prior to subdivision), or part thereof, is included within the landscaping, and
 - C. at least one tree shall be planted adjacent to the road boundary;
 - ii. all trees required by this rule shall be not less than 1.5 metres high at the time of planting;
 - iii. all trees and landscaping required by this rule shall be maintained and if dead, diseased or damaged, shall be replaced; and
 - iv. the minimum tree and garden planting requirements shall be determined over the site of the entire complex.

14.4.2.3 Building height

- a. The maximum height of any building shall be:

	Activity / area	Standard
i.	All buildings unless specified below.	8 metres
ii.	Minor residential units in the Residential Suburban Zone-Low <u>Density Residential Airport Influence Zone</u>	5.5 metres and of a single storey only
iii.	All buildings on the Woolston Fire Station and Training Centre site at 929 Ferry Road, Lot 1 DP72727.	20 metres
iv.	<u>All buildings within the Riccarton Bush Interface Area</u>	<u>8 metres</u>

Advice note:

1. See the permitted height exceptions contained within the definition of height.

14.4.2.4 Site coverage

- a. The maximum percentage of the net site area covered by buildings shall be as follows:

	Zone/activity	Standard
i.	All zones / activities unless specified below	35%
ii.	Multi-unit residential complexes, social housing complexes, and groups of older person's housing units where all the buildings are single storey. The percentage coverage by buildings shall be calculated over the net site area of the entire complex or group, rather than over the net area of any part of the complex or group.	40%
iii.	Market gardens	55%
iv.	Retirement villages	45%

b. For the purposes of this rule this excludes:

- i. fences, walls and retaining walls;
- ii. eaves and roof overhangs up to 600mm in width and guttering up to 200mm in width from the wall of a building;
- iii. uncovered swimming pools up to 800mm in height above ground level; and
- iv. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
 - A. are no more than 800mm above ground level and are uncovered or unroofed; or
 - B. where greater than 800mm above ground level and/or covered or roofed, are in total no more than 6m² in area for any one site.

14.4.2.5 Outdoor living space

a. Each residential unit shall be provided with an outdoor living space in a continuous area, contained within the net site area with a minimum area and dimension as follows:

	Activity/area	Standard	
		Minimum area	Minimum dimension
i.	Residential Suburban Zone Low Density Residential Airport Influence Zone	90m ²	6 metres
ii.	Residential Suburban Density Transition Zone Airport Influence Density Precinct	50m ²	4 metres
iii.	Multi-unit residential complexes, social housing complexes and older person's housing units	30m ²	4 metres

- b. The required minimum area shall be readily accessible from a living area of each residential unit.
- c. The required minimum area shall not be occupied by any building, access, or parking space, other than:
 - i. an outdoor swimming pool; or

- ii. **accessory building** of less than 8m²; or
 - iii. any **buildings** or parts of a **building** without walls (other than a balustrade) on at least a quarter of its perimeter, and occupies no more than 30% of the area of the **outdoor living space**.
- d. This rule only applies to structures on the same **site**.
- e. This rule does not apply to **residential units** in a **retirement village**.

14.4.2.6 Daylight recession planes

- a. **Buildings** shall not project beyond a **building** envelope constructed by recession planes, as shown in [Appendix 14.16.2](#) Diagram A and Diagram B as relevant, from points 2.3 metres above:
- i. **ground level** at the internal **boundaries**; or
 - ii. where an internal **boundary** of a **site** abuts an **access lot** or **access strip** the recession plane may be constructed from points 2.3 metres above **ground level** at the furthest **boundary** of the **access lot** or **access strip** or any combination of these areas; or
 - iii. where **buildings** on **adjoining sites** have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the **building** is located in an overlay that has a permitted **height** of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above **ground level** at the internal **boundaries** and continue on the appropriate angle to points 11 metres above **ground level**, at which point the recession plane becomes vertical.
- c. Where the **building** is located in a **Flood Management Area**, the exemptions in Rule [5.4.1.3](#) apply (for activities P1-P4 in Table 5.4.1.1b).

Advice note:

1. Refer to [Appendix 14.16.2](#) for permitted intrusions.

14.4.2.7 Minimum building setbacks from internal boundaries and ~~railway lines~~

- a. The minimum **building setback** from internal **boundaries** shall be as follows:

	Activity / area	Standard
i.	All buildings not listed in table below	1 metre
ii.	Accessory buildings where the total length of walls or parts of the accessory buildings within 1 metre of each internal boundary does not exceed 10.1 metres in length	Nil
iii.	Decks and terraces at or below ground floor level to a maximum height of 300mm above ground level within 1m of the boundary .	Nil
iv.	Buildings that share a common wall along an internal boundary	Nil
v.	All other buildings where the internal boundary of the site adjoins an access or part of an access	1 metre

	Activity / area	Standard
vi.	Buildings, balconies and decks on sites adjacent to or abutting a designated rail corridor	4 metres from the rail corridor boundary
vii.	Except where 14.4.2.7.viii applies, all two storey buildings where the internal boundary of the site adjoins the Avonhead Cemetery (Council landscape buffer)	5 metres
viii.	For two storey buildings adjoining the Avonhead Cemetery (Council landscape buffer) that have high-set windows on the second floor facing the cemetery	3 metres

- b. For the purposes of this rule this excludes guttering up to 200mm in width from the wall of a building.

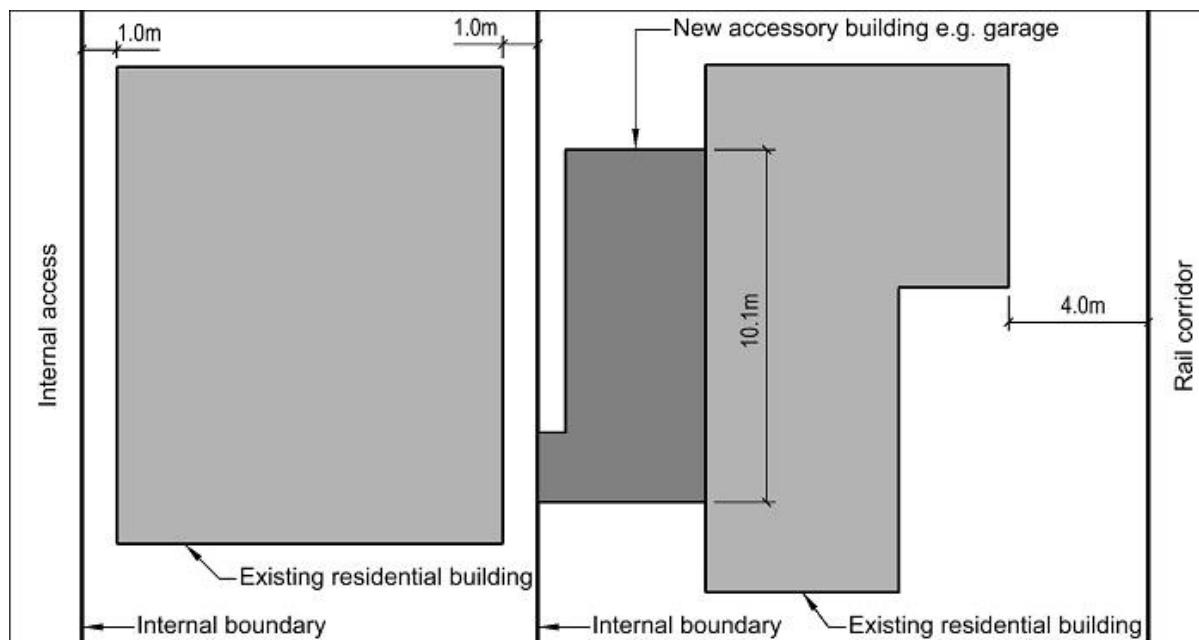


Figure 2: Separation from neighbours

14.4.2.8 Minimum setback for balconies and living space windows from internal boundaries

- The minimum setback from an internal boundary for balconies shall be 4 metres.
- Where a wall of a residential unit is located between 1 metre and 4 metres from an internal boundary, any living space window located on this wall at first floor level and above shall only contain glazing that is permanently obscured.
- For a retirement village, this rule only applies to the internal boundaries of the site of the entire retirement village.
- This rule shall not apply to a window at an angle of 90 degrees or greater to the boundary.
- For the purposes of this rule, permanently obscured glazing does not include glazing obscured by applied means such as film or paint.

Advice note:

1. See sill height in the definition of **window**.

14.4.2.9 Road boundary building setback

- a. The minimum **road boundary building setback** shall be:

	Activity	Standard
i.	All buildings and situations not listed below	4.5 metres
ii.	Where a garage has a vehicle door that generally faces a road or shared access	5.5 metres from the shared access or road kerb

- b. Rule 14.4.2.9.a applies except for:

- i. A **garage** where (See Figure 3):
 - A. the side walls are parallel to the **road boundary** and no more than 6.5 metres in length;
 - B. the side walls facing the **road** contain a **window** with a minimum dimension of at least 0.6 metres (including the **window** frame);
 - C. the space between the side wall and the **road boundary** contains a **landscaping strip** of at least 2 metres in width that includes a minimum of two trees capable of reaching four metres height at maturity; and
 - D. where the **access** to the **garage** is located adjacent to a side **boundary**:
 - I. a **landscaping strip** of at least 0.6 metres width, planted with species capable of reaching 1.5 metres height at maturity, is located along the side **boundary** up to the line of the **residential unit**.
 - E. where the planting conflicts with required **visibility splays** the **visibility splay** rules will prevail and the planting not be required.

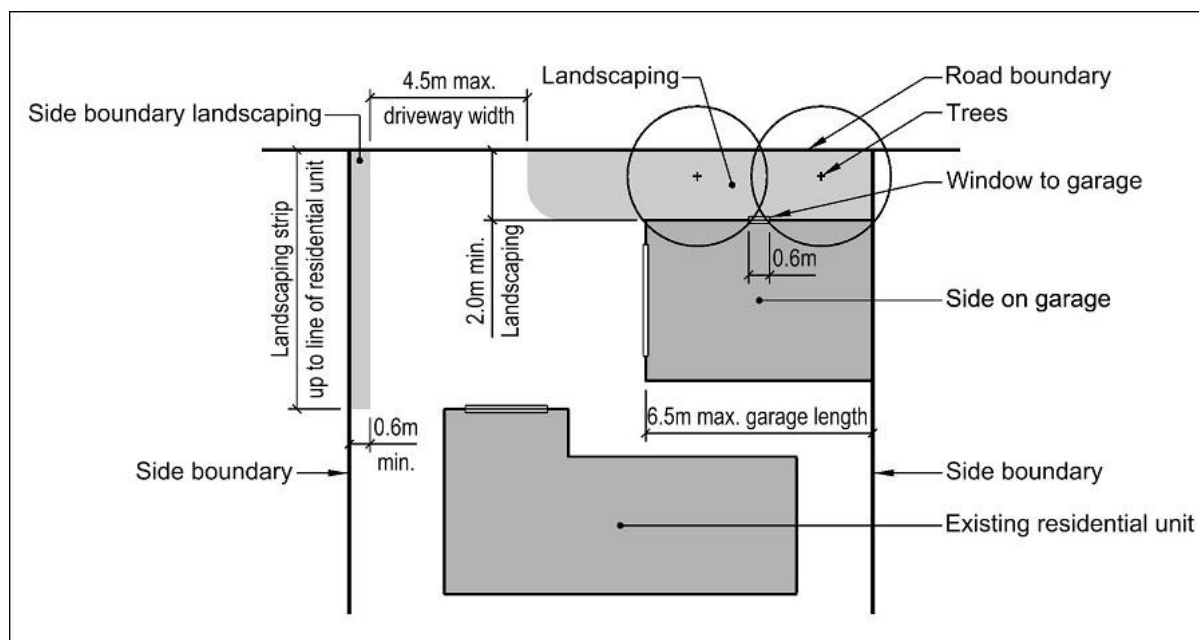


Figure 3: Side extension

- ii. A garage where (See Figure 4):
 - A. the garage is a single garage, with the door facing the road boundary, accessed from a local road;
 - B. the garage is a maximum 3.6 metres wide;
 - C. the garage is fitted with a sectional door that does not intrude into the driveway when open and can be operated with an automatic opener. Where the garage is more than 3.5 metres from the road boundary an automatic opener is not required; and
 - D. no part of the garage door when opening or shutting extends beyond the site boundary.
- iii. Rule 14.4.2.9 b.i. and b.ii. above do not apply to garages in the Character Area Overlay.

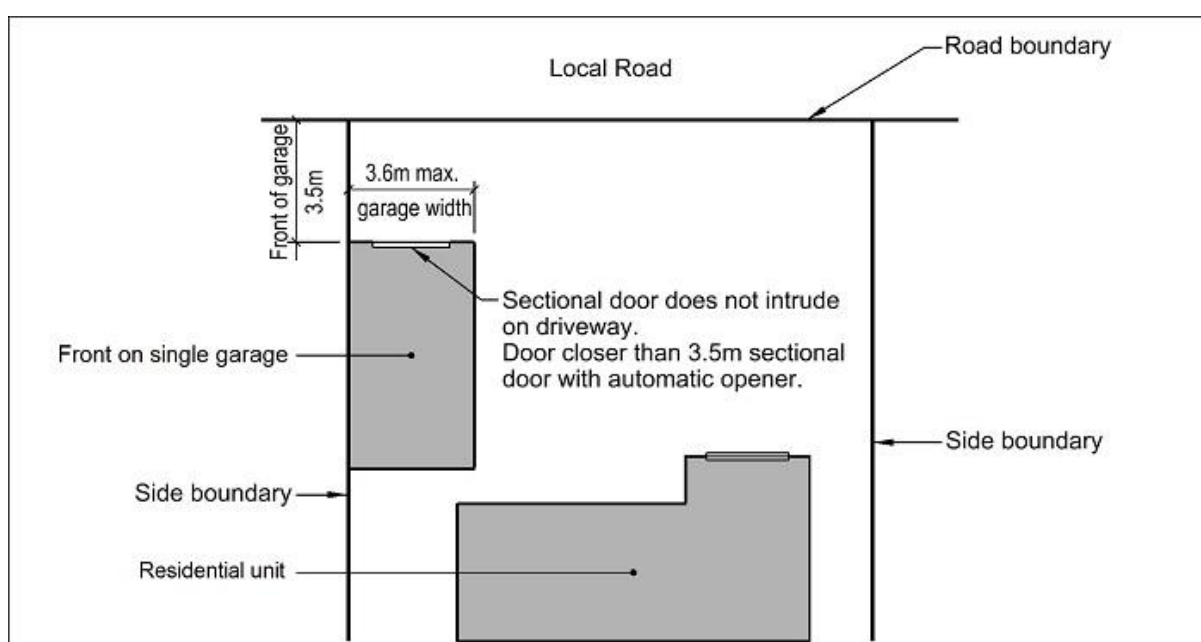


Figure 4: Front extension

14.4.2.10 Street scene amenity and safety – fences

- a. The maximum height of any fence in the required building setback from a road boundary shall be 1.8 metres.
- b. This rule shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential, or residential and commercial or industrial.
- c. For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

14.4.2.11 Water supply for fire fighting

- a. Sufficient water supply and access to water supplies for fire fighting shall be made available to all residential units via Council's urban fully reticulated system and in accordance with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008).

14.4.2.12 Service, storage and waste management spaces

- a. For multi-unit residential complexes and social housing complexes only:
 - i. each residential unit shall be provided with at least 2.25m² with a minimum dimension of 1.5 metres of outdoor or indoor space at ground floor level for the dedicated storage of waste and recycling bins;
 - ii. each residential unit shall be provided with at least 3m² with a minimum dimension of 1.5 metres of outdoor space at ground floor level for washing lines; and
 - iii. the required spaces in a. and/or b. for each residential unit shall be provided either individually, or within a dedicated shared communal space.

14.4.3 Area-specific rules — ~~Residential Suburban Zone and Residential Suburban Density Transition Zone~~ Low Density Residential Airport Influence Zone and Airport Influence Density Precinct

- a. The following rules apply to the areas specified. All activities are also subject to Rules 14.4.1 and 14.4.2 unless specified otherwise.

14.4.3.1 Area-specific activities

14.4.3.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities if they meet the activity specific standards set out in this table; and the built form standards in Rule 14.4.2, unless specified otherwise in Rule 14.4.3.2
- b. Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited as specified in Rules ~~14.4.1.2~~, 14.4.1.3, 14.4.1.4, 14.4.1.5 and 14.4.1.6 (unless specified otherwise in area specific rules); and Rules ~~14.4.3.1.2~~, 14.4.3.1.3, 14.4.3.1.4, 14.4.3.1.5, or 14.4.3.1.6.

Activity		Activity specific standards
P1	<p>a. The following activities in the Accommodation and Community Facilities Overlay:</p> <ul style="list-style-type: none"> i. Preschools; ii. Health care facility; iii. Veterinary care facility; iv. Education activity; v. Place of assembly; vi. Spiritual activities; vii. Community corrections facilities; viii. Community welfare facilities; ix. Care facility. 	<p>a. The activity specific standards in Rule 14.4.1.1 do not apply.</p> <p>b. The facility or activity shall:</p> <ul style="list-style-type: none"> i. comprise less than 500m² gross leasable floor space; and ii. limit the time when the site is open to visitors, students, patients, clients, and deliveries to between 07:00 21:00 Monday to Sunday.
P2	<p>Guest accommodation Visitor accommodation in the Accommodation and Community Facilities Overlay including ancillary office, meeting and conference facilities, fitness facilities and provision of goods and services primarily for the convenience of guests.</p>	<p>Nil</p> <p>a. The maximum size of all ancillary activities shall not exceed 25% of the GFA of all buildings on the same site.</p> <p>b. No individual type of ancillary activity shall be more than 250m² GLFA.</p>
P3	<p><u>Place of Assembly, including functions, conferences, community events and festivals at Kate Sheppard House, 83 Clyde Road</u></p>	<p>a. <u>There shall be a maximum of 5 parking spaces on the site.</u></p> <p>b. <u>The maximum hours of operation during which the site may be open to visitors, staff and deliveries shall be:</u></p> <ul style="list-style-type: none"> i. <u>07:00 – 23:00 Monday to Saturday; and</u> ii. <u>07:00 – 22:00 Sundays and Public Holidays.</u> <p>c. <u>There shall be no amplified music after 22.00 on any day.</u></p> <p>d. <u>No more than 15 events shall be held outside the house in any twelve month time period.</u></p>

(Plan Change 4 Council Decision subject to appeal)

(Proposed Plan Change 5F Kate Sheppard House subject to Council Decision)

~~14.4.3.1.2 Area specific controlled activities~~

a. ~~The activities listed below are controlled activities.~~

b. Discretion to impose conditions is restricted to the matters over which control is reserved in Rule 14.15, as set out in the following table.

	Location	Controlled activity	The matters over which Council reserves its control
C1	Character Area Overlay	<p>a. The relocation of a building onto the site, erection of new buildings and alterations or additions to existing buildings, accessory buildings, fences and walls associated with that development, where it is:</p> <ul style="list-style-type: none"> i. visible from the street; ii. located in that part of the site between the road boundary and the main residential unit on the site; or iii. involves changes to the front façade of the main residential unit of the site. <p>b. This rule does not apply to:</p> <ul style="list-style-type: none"> i. fences that are 1 metre in height or less ii. accessory buildings that are located to the rear of the main residential unit on the site and are less than 5 metres in height iii. fences that are located on a side or rear boundary of the site, except where that boundary is adjacent to a public space; or iv. rear sites or those located on private lanes in CA4 – Beckenham Loop. <p>c. Activities that do not meet Rule 14.4.3.2.17 Landscape areas.</p> <p>d. Any application arising from this rule shall not be limited or publicly notified.</p>	a. Character Area Overlay – Rule 14.15.23

14.4.3.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in Rule 14.15, or as specified, as set out in the following table:

	Location	Restricted discretionary activity	The Council's discretion shall be limited to the following matters
RD1	Residential area in Wigram as shown on Figure 6	<p>a. Activities that do not meet Rule 14.4.3.2.9 – Outdoor living space at West Wigram.</p> <p>b. Any application arising from this rule shall not be publicly notified and may be limited notified only to the New Zealand Defence Force (where the consent authority considers this is required and absent its written approval).</p>	<p>a. Development plans – Rule 14.15.15</p> <p>b. Special setback provision – Residential Suburban Zone Low Density Residential Airport Influence Zone Wigram – Rule 14.15.13</p>
RD2	Mairehau Final Development Area (Plan Change 6 Council Decision)	<p>a. Any development of land that is not in accordance with the layout shown in the development plan in Figure 5.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Development plans – Rule 14.15.15</p>
RD3	Prestons Road Retirement Village Overlay	<p>a. Residential units that do not comply with Rule 14.4.3.2.4 – Outdoor living space.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p> <p>c. This clause shall cease to have effect on 31st December 2018.</p>	<p>a. Outdoor living space – Rule 14.15.20</p>
RD4	<p>a. Peat Ground Condition Constraint Overlay;</p> <p>b. Stormwater Capacity Constraint Overlay; or</p> <p>c. Prestons Road Retirement Village Overlay.</p>	<p>a. Activities and buildings that do not comply with Rule 14.4.3.2.5 – Minimum building setbacks from internal boundaries.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Minimum building, window and balcony setbacks – Rule 14.15.18</p>
RD5	<p>a. Peat Ground Condition Constraint Overlay;</p> <p>b. Stormwater Capacity Constraint Overlay;</p> <p>c. Existing Rural Hamlet Overlay Precinct in the area to the east of the 50 dB Ldn Air Noise</p>	<p>Residential units that do not comply with Rule 14.4.3.2.1 - Site density</p>	<p>a. Site density and site coverage – Rule 14.15.2</p> <p>b. Whether the development design adequately mitigates any adverse effects of the additional building coverage on the</p>

	Location	Restricted discretionary activity	The Council's discretion shall be limited to the following matters
	Contour shown on Planning Map 18 ; or d. Existing Rural Hamlet Overlay Precinct in the area to the west of the 50 dB Ldn Air Noise Contour shown on Planning Map 18 .		environmental condition giving rise to the constraint.
RD6	Prestons Road Retirement Village Overlay	a. Activities and buildings that do not comply with Rule 14.4.3.2.2 – Building height. b. This clause shall cease to have effect on 31st December 2018 in relation to the Prestons Road Retirement village.	a. Impacts on neighbouring property – Rule 14.15.3
RD7	a. Peat Ground Condition Constraint Overlay; b. Stormwater Capacity Constraint Overlay; c. Existing Rural Hamlet Overlay Precinct; d. Prestons Road Retirement Village Overlay.	a. Activities and buildings that do not comply with Rule 14.4.3.2.3 – Site coverage	a. Site density and site coverage – Rule 14.15.2 b. Whether the development design adequately mitigates any adverse effects of the additional building coverage on the environmental condition giving rise to the constraint.
RD8	Character Area Overlay	Residential units that do not comply with Rule 14.4.3.2.1 – Site density, where the minimum site density is between 400m² and 600m²	a. Character Area Overlay – Rule 14.15.23
RD9	Accommodation and Community Facilities Overlay (Proposed Plan Change 5D subject to Council Decision)	a. Service stations. b. Any application arising from this rule shall not be limited or publicly notified.	a. Scale and nature of activity – Rule 14.15.5 b. Hours of operation – Rule 14.15.21 c. Traffic generation and access safety – Rule 14.15.6

	Location	Restricted discretionary activity	The Council's discretion shall be limited to the following matters
RD10		Activities listed in Rule 14.4.3.1.1 P1 that do not comply with any one or more of the activity specific standards in Rule 14.4.3.1.1 P1.	<ul style="list-style-type: none"> a. Scale and nature of activity— Rule 14.15.5 b. Hours of operation— Rule 14.15.21 c. Traffic generation and access safety— Rule 14.15.6 d. Impacts on neighbouring property— Rule 14.15.3
RD11	<ul style="list-style-type: none"> a. Prestons Road Retirement Village Overlay b. Accommodation and Community Facilities Overlay 	Buildings that do not meet Rule 14.4.3.2.11 — Daylight recession planes	<ul style="list-style-type: none"> a. Impacts on neighbouring property— Rule 14.15.3
RD12	Accommodation and Community Facilities Overlay	a. Activities and buildings that do not meet Rule 14.4.3.2.3— Site coverage	a. Site density and site coverage— Rule 14.15.2
RD13		<ul style="list-style-type: none"> a. Buildings that do not meet Rule 14.4.3.2.12 — Maximum continuous building length. b. Any application arising from this rule shall not be limited or publicly notified. 	<ul style="list-style-type: none"> a. Impacts on neighbouring property— Rule 14.15.3 b. Residential design principles— Rule 14.15.1.e only
RD14		<ul style="list-style-type: none"> a. Buildings that do not comply with Rule 14.4.3.2.13 — Building setbacks from road boundaries. b. Any application arising from this rule shall not be limited or publicly notified. 	a. Street scene— road boundary building setback, fencing and planting— Rule 14.15.17
RD15		<ul style="list-style-type: none"> a. Buildings that do not comply with Rule 14.4.3.2.14 — Front entrances and facades. b. Any application arising from this rule shall not be limited or publicly notified. 	a. Residential design principles— Rule 14.15.1

	Location	Restricted discretionary activity	The Council's discretion shall be limited to the following matters
RD16		<p>a. Buildings that do not comply with Rule 14.4.3.2.15 – Building overhangs.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	a. Residential design principles – Rule 14.15.1
RD17		<p>a. Activities that do not comply with Rule 14.4.3.2.16 – Fences and screening.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
RD18		<p>a. Activities that do not comply with Rule 14.4.3.2.17 – Landscaped areas</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
RD19	Accommodation and Community Facilities Overlay	Ancillary activities to visitor accommodation listed in Rule 14.4.3.1.1 P2 that do not comply with any one or more of the activity specific standards in Rule 14.4.3.1.1 P2.	<p>a. Scale of activity – Rule 14.15.5</p> <p>b. Hours of operation – Rule 14.15.21</p> <p>c. Traffic generation and access safety – Rule 14.15.6</p>

(Plan Change 4 Council Decision subject to appeal)

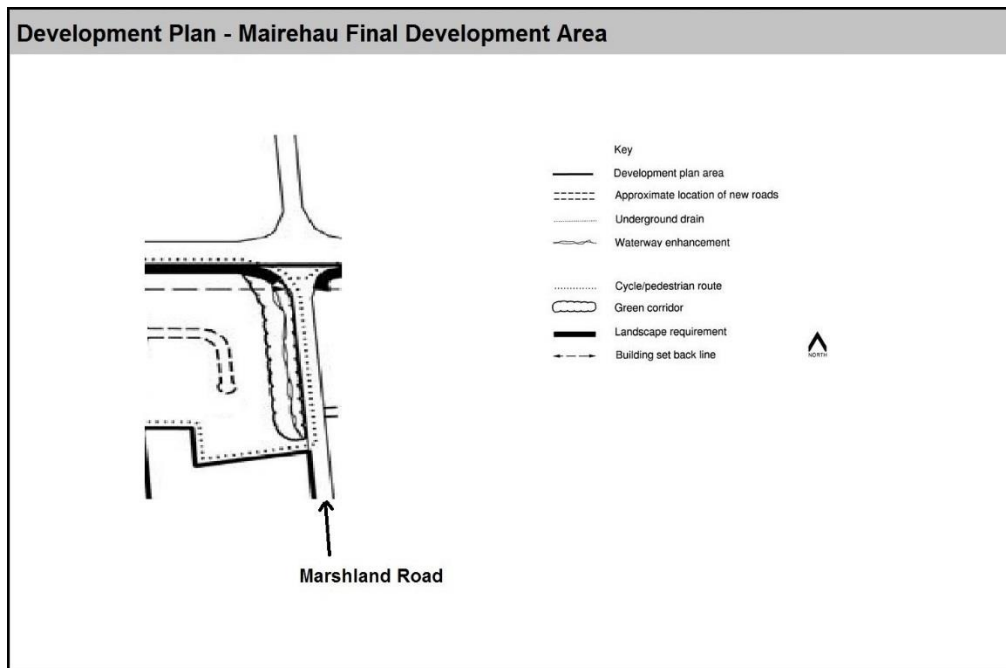


Figure 5: Mairehau final development area

(Private Plan Change 6 Council Decision)

14.4.3.1.4 Area-specific discretionary activities

- a. The activities listed below are discretionary activities.

Activity/area	
D1	Activities and buildings that do not comply with Rule 14.4.3.2.10 – Use of site and buildings Prestons Road Retirement Village Overlay. This clause shall cease to have effect on 31st December 2018.
D2	Activities and buildings that do not comply with Rule 14.4.3.2.6 – Minimum building setback from zone boundary Russley Road/Memorial Avenue
D3	Activities and buildings that do not comply with 14.4.3.2.8 – Building types and limits Prestons Road Retirement Village Overlay
D4	<u>Place of Assembly, including functions, conferences, community events and festivals at Kate Sheppard House, 83 Clyde Road that does not comply with one or more of the activity specific standards in rule 14.4.3.1.1 P3.</u>

(Proposed Plan Change 5F Kate Sheppard House subject to Council Decision)

14.4.3.1.5 Area-specific non-complying activities

- a. The activities listed below are a Non Complying Activity.

Activity	
NC1	Activities and buildings that do not comply with Rule 14.4.3.2.7 - Noise insulation
NC2	Activities and buildings that do not comply with Rule 14.4.3.2.9 — Outdoor living space West Wigram
NC3	Residential units in the Character Area Overlay that do not comply with Rule 14.4.3.2.1, where the residential unit is contained within a site with a net site area of less than 400m².

14.4.3.1.6 Area-specific prohibited activities

There are no prohibited activities.

14.4.3.2 Area-specific built form standards

14.4.3.2.1 Site density

a. This applies to:

- ~~i. Peat Ground Condition Constraint Overlay;~~
- ~~ii. Stormwater Capacity Constraint Overlay;~~
- ~~iii. Existing Rural Hamlet Overlay Precinct; and~~
- ~~iv. Character Area Overlay.~~

b. Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Activity	Standard
i.	Peat Ground Condition Constraint Overlay	2000m²
ii.	Stormwater Capacity Constraint Overlay	1 residential unit for each allotment existing at June 1995
iii.	Existing Rural Hamlet Overlay Precinct	2000m ²
iv.	Residential Suburban Zone within the Character Area Overlay	600m²
v.	Residential Suburban Density Transition Zone and within the Character Area Overlay (except as specified in 6. Below)	400m²
vi.	Character Area Overlay — Character Area 8 — Beverley	500m²

Advice note:

1. Refer also to the subdivision rules in Chapter 8.

14.4.3.2.2 Building height

a. This applies to:

- i. ~~Prestons Road Retirement Village Overlay; and~~
- ii. ~~Accommodation and Community Facilities Overlay.~~

b. Maximum height of any building shall be:

	Activity/area	Standard
i.	Prestons Road Retirement Village Overlay, except as listed in ii. below. This clause shall cease to have effect on 31st December 2018.	6.5 metres and of a single storey only
ii.	Prestons Road Retirement Village Overlay in the health facility. This clause shall cease to have effect on 31st December 2018.	13 metres
iii.	Activities that are not residential activities in the Accommodation and Community Facilities Overlay	9 metres, or 12 metres for a building with a pitched roof of at least 22 degrees.

c. For the purposes of determining building height in the Prestons Road Retirement Village Overlay, ground level shall be taken as the level of ground existing when filling or excavation for new buildings on the land has been completed.

d. Rule 14.4.2.3 Building height shall not apply in the Prestons Road Retirement Village Overlay until Rule 14.4.3.2.2 ceases to have effect.

Advice note:

1. See the permitted height exceptions contained within the definition of height.

14.4.3.2.3 Site coverage

a. This applies to:

- i. ~~Peat Ground Condition Constraint Overlay;~~
- ii. ~~Stormwater Capacity Constraint Overlay;~~
- iii. ~~Existing Rural Hamlet Overlay Precinct;~~
- iv. ~~Prestons Road Retirement Village Overlay; and~~
- v. ~~Accommodation and Community Facilities Overlay.~~

b. Rule 14.4.2.4 Site coverage shall not apply in the Prestons Road Retirement Village Overlay area until Rule 14.4.3.2.3 ceases to have effect.

The maximum percentage of the net site area covered by buildings shall be as follows:	Activity/area	Standard
i.	Peat Ground Condition Constraint, Stormwater Capacity Constraint, and Existing Rural Hamlet Precinct.	40% or 300m ² whichever is the lesser
ii.	Prestons Road Retirement Village Overlay, except as stated in iii. below. This clause shall cease to have effect on 31st December 2018.	40% (calculated over the net site area of the entire complex)
iii.	Prestons Road Retirement Village Overlays: residential activities with garages. This clause shall cease to have effect on 31st December 2018.	40% or 300m² whichever is the lesser
iv.	Activities that are not residential activities in the Accommodation and Community Facilities Overlay	45%

c. For the purposes of this rule this excludes :

- i. fences, walls and retaining walls;
- ii. eaves and roof overhangs up to 600mm in width and guttering up to 200mm in width from the wall of a **building**;
- iii. uncovered swimming pools up to 800mm in **height** above **ground level**; and
- iv. decks, terraces, **balconies**, porches, verandahs, bay or box **windows** (supported or cantilevered) which:
 - A. are no more than 800mm above **ground level** and are uncovered or unroofed; or
 - B. where greater than 800mm above **ground level** and/or covered or roofed, are in total no more than 6m² in area for any one **site**;

~~14.4.3.2.4 Outdoor living space Prestons Road Retirement Village Overlay~~

~~a. Each **residential unit** shall be provided with an **outdoor living space** in a continuous area, contained within the **net site area** with a minimum area and dimension as follows:~~

	Activity/area	Standard	
		Minimum Area	Minimum Dimension

	Activity/area	Standard	
i.	Prestons Road Retirement Village Overlay: for any older person's housing unit This clause shall cease to have effect on 31st December 2018.	30m²	3 metres

~~b. The required minimum area shall be readily accessible from a living area of each residential unit. This rule only applies to structures on the same site.~~

~~c. The required minimum area shall not be occupied by any building, access or parking space, other than:~~

~~i. an outdoor swimming pool; or~~

~~ii. accessory building of less than 8m² in area; or~~

~~iii. any buildings or parts of a building without walls (other than a balustrade) on at least a quarter of its perimeter, which occupies no more than 30% of the area of the outdoor living space.~~

~~d. Rule 14.4.2.5 Outdoor living space shall not apply to any older person's housing unit in the Prestons Road Retirement Village Overlay until Rule 14.4.3.2.4 ceases to have effect.~~

~~14.4.3.2.5 Minimum building setbacks from internal boundaries~~

~~a. This applies to:~~

~~i. Peat Ground Condition Constraint Overlay;~~

~~ii. Stormwater Capacity Constraint Overlay;~~

~~iii. Prestons Road Retirement Village Overlay.~~

~~b. Rule 14.4.2.7 (other than Rule 14.4.2.7(vi)) Minimum building setbacks to internal boundaries shall not apply in the Prestons Road Retirement Village Overlay areas until Rule 14.4.3.2.5 ceases to have effect.~~

~~c. Minimum building setback from boundaries shall be as follows:~~

	Area	Standard
i.	Peat Ground Condition Constraint and Stormwater Capacity Constraint Overlays	3 metres
ii.	Prestons Road Retirement Village Overlay. This clause shall cease to have effect on 31st December 2018.	A. From Prestons Road — 15 metres B. From internal boundaries — 1.8 metres

14.4.3.2.6 Minimum building setback from zone boundary Russley Road/Memorial Avenue

a. At Russley Road/Memorial Avenue, where the eastern boundary of the ~~Residential Suburban Zone Low Density Residential Airport Influence Zone~~ abuts the western boundary of the Industrial Park Zone, the minimum building setback from the eastern boundary of the zone where it abuts the Industrial Park Zone shall be 5 metres.

14.4.3.2.7 Noise insulation

a. This applies to:

- i. ~~the area adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads;~~
- ii. ~~the area adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road;~~
- iii. ~~Peat Ground Condition Constraint Overlay;~~ and
- iv. ~~Existing~~ Rural Hamlet Overlay Precinct.

	Location	Standard
b.	On that land which is: <ul style="list-style-type: none"> a. adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads; and b. adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road. 	<ul style="list-style-type: none"> a. Building setbacks, or building location, or acoustic barriers, or other means, either singly or in combination shall be used such that the following noise insulation standards are met: b. Sound levels attributable to traffic from these roads shall not exceed a level of 57_{dB(A)} L10 (18 hour) 54_{dB(A)} Leq (24 hour) in any outdoor area of the site and a design level of 60_{dB(A)} L10 (18 hour) 57_{dB(A)} Leq (24 hour) measured 1 metre from the façade of any residential unit. All measured in accordance with NZS 6801:1991 Assessment of Sound.
c.	<p>Mairehau Final Development Area identified in Figure 5 on land which is on the western side of Marshlands Road between Queen Elizabeth Drive and Briggs Road</p> <p>(Private Plan Change 6 Council Decision)</p>	<ul style="list-style-type: none"> a. There shall be no minimum building setback where: <ul style="list-style-type: none"> i. mounding or other physical barrier to noise transmission capable of reducing traffic noise intrusion to all parts of any site by at least 10_{dB(A)} is provided within 20 metres of the road boundary across the entire width of the site; ii. the mounding in i. is screened from the adjoining road by landscaping with a minimum depth of 1.5 metres and a minimum height of 1.8 metres at time of planting; iii. the minimum building setback from a limited access road shall be 40 metres. b. where a.i. and a.ii. are complied with and all external windows and doors of a residential units including those installed in the roof are acoustically treated to achieve a sound transmission loss of at least 25_{dB(A)} with windows and doors closed the minimum setback shall be 20 metres. c. Where a. and b. do not apply the minimum building setback shall be 80 metres.

	Location	Standard
		d. For the purpose of this rule the minimum building setback shall be measured from the road carriageway to the residential unit.
d.	Peat Ground Condition Constraint Overlay	The minimum building setback from the boundary with the Residential Suburban Zones Low Density Residential Airport Influence Zones or the boundary with Lot 1, Lot 2 or Lot 3 DP 49320 shall be 6 metres.
e.	Existing Rural Hamlet Overlay Precinct	<p>a. In the Existing Rural Hamlet Overlay Precinct west of the 50 dB_{Ldn} Air Noise Contour <u>and the Qualifying Matter Airport Influence Area:</u></p> <p>i. Any new residential units, or additions to existing residential units shall be insulated from aircraft noise so as to meet the provisions of Appendix 14.16.4; and</p> <p>ii. Buildings, other than residential units, shall also be insulated, where applicable, to meet the provisions of Appendix 14.16.4.</p>

14.4.3.2.8 — Building types and limits Prestons Road Retirement Village Overlay

- a. ~~There shall be a maximum of 165 independent older person's housing units.~~
- b. ~~Where a unit shares a common wall with another unit, there shall be no more than 4 units in any such arrangement.~~
- c. ~~There shall be a maximum of 45 serviced older person's housing units contained within the health facility.~~
- d. ~~There shall be a maximum of one health facility with ground floor area of 2500m².~~
- e. ~~The maximum floor area for any one residential unit shall be 165m².~~

14.4.3.2.9 — Outdoor living space West Wigram

- a. ~~On the frontage shown in Figure 6, residential units shall have their primary outdoor living space facing away from the aerodrome site. Windows to living areas which directly face the RNZAF Bequest Land shall be double glazed. In addition, a 2 metre wide landscape strip and a close solid and continuous 1.8 metre high fence shall be placed along the boundary of the RNZAF Bequest Land and be completed before any residential units are built.~~

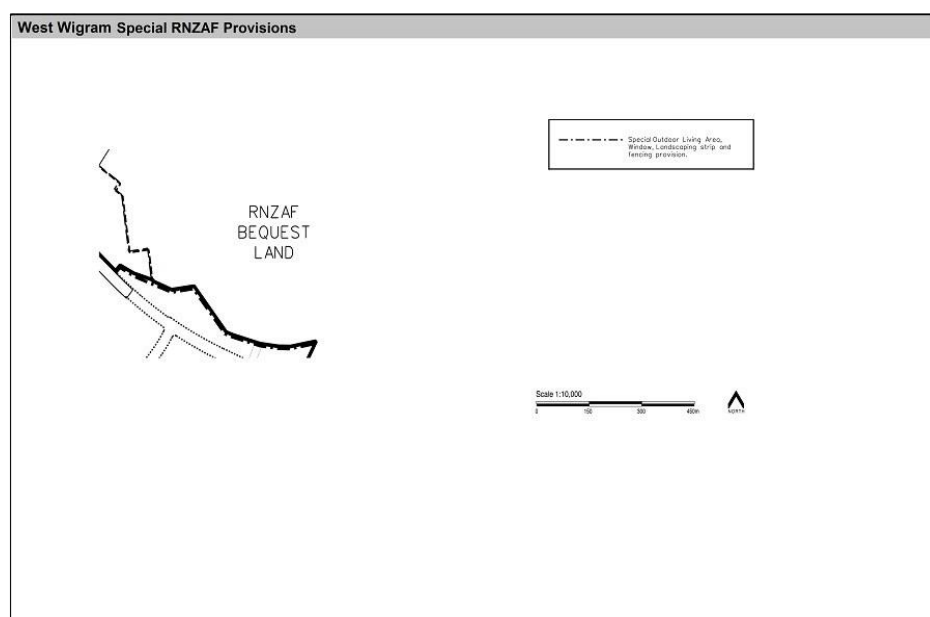


Figure 6: West Wigram Special RNZAF Provisions

14.4.3.2.10 — Use of the site and buildings Prestons Road Retirement Village Overlay

- a. Any **site** or **buildings** shall only be used for housing for persons over the age of 55 and **ancillary** health, managerial, administrative, social and professional and **retail activities** associated with the provision of services to those over the age of 55 residing on **site**.

14.4.3.2.11 — Daylight recession planes

- a. This applies to:
- i. Prestons Road Retirement Village Overlay; and
 - ii. Accommodation and Community Facilities Overlay.
- b. **Buildings** shall not project beyond a **building** envelope constructed by recession planes, using the applicable recession planes in the following table, from points 2.3 metres above:
- i. **ground level** at the internal **boundaries**; or
 - ii. where an internal **boundary** of a **site** abuts an **access** lot or **access strip** the recession plane may be constructed from points 2.3 metres above **ground level** at the furthest **boundary** of the **access** lot or **access strip** or any combination of these areas; or
 - iii. where **buildings** on **adjoining sites** have a common wall along an internal **boundary** the recession planes shall not apply along that part of the **boundary** covered by such a wall.

	Area	Applicable to	Standard
A.	Prestons Road Retirement Village Overlay	All buildings	Diagram A, Appendix 14.16.2
B.	Accommodation and Community Facilities Overlay	Activities that are not	Diagram C, Appendix 14.16.2

	Area	Applicable to	Standard
		residential activities	

14.4.3.2.12 — Maximum continuous building length

- a. Within the Accommodation and Community Facilities Overlay the maximum continuous building length shall be applicable to buildings for:

Applicable to	Standard
i. Guest Visitor accommodation;	A. New buildings: 15 metres
ii. Community facility;	
iii. Preschool;	B. Additions to an existing building: 10 metres
iv. Education facility;	
v. Health care facility;	
vi. Place of assembly; and	
vii. Veterinary care facility.	

(Plan Change 4 Council Decision subject to appeal)

14.4.3.2.13 — Building setback from road boundaries

- a. Within the Accommodation and Community Facilities Overlay for activities that are not residential activities, the minimum building setback from road boundaries shall be 3 metres.

14.4.3.2.14 — Front entrances and façades

- a. Within the Accommodation and Community Facilities Overlay, the following front entrance and façade treatment shall be provided and is applicable to buildings for:

Applicable to	Standard
i. Guest Visitor accommodation;	A. Pedestrian access shall be directly from the road frontage.
ii. Community facility;	B. A minimum of 30% glazing on the road frontage on ground floor.
iii. Preschool;	C. A minimum of 20% glazing on the road frontage on elevations above ground level.
iv. Education facility;	
v. Health care facility;	
vi. Place of assembly; and	
vii. Veterinary care facility.	

14.4.3.2.15 — Building overhangs

- a. ~~Within the Accommodation and Community Facilities Overlay for activities that are not residential activities, no internal floor area located above ground floor level shall project more than 800mm horizontally beyond the gross floor area at ground level.~~

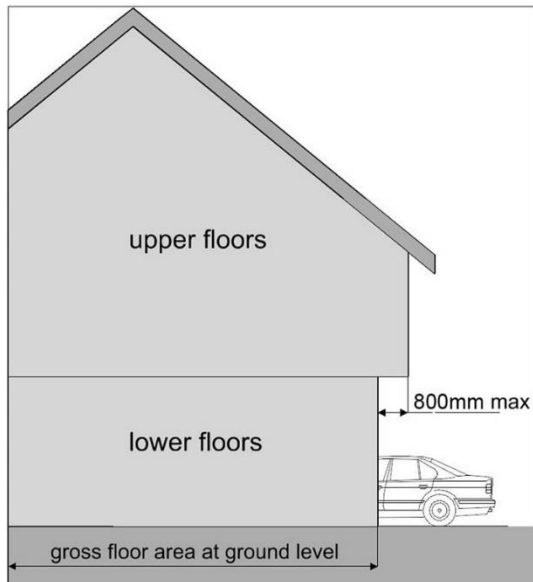


Figure 9: Building overhangs

Advice note:

1. ~~This diagram is an illustrative example only, showing a way the rule may be applied.~~

14.4.3.2.16 — Fences and screening

- a. ~~Within the Accommodation and Community Facilities Overlay for activities that are not residential activities, fencing and/or screening shall be provided as follows:~~
- i. ~~Screening of outdoor storage areas shall ensure that outdoor storage is not visible from 1.8 metres above ground level on any adjoining road or site, and~~
 - ii. ~~outdoor storage is not located within any required 2 metre planted strip adjoining the road frontage.~~

14.4.3.2.17 — Landscaped areas

- a. ~~Within the Accommodation and Community Facilities Overlay for non-residential activities:~~
- i. ~~In areas adjoining the road frontage of all sites:~~
 - A. ~~a minimum density of 1 tree per every 10 metres of road frontage or part thereof, distributed across the frontage; and~~
 - B. ~~a minimum 2 metre planted strip.~~

- ~~ii. On sites adjoining residential, and open space zones, trees shall be planted adjacent to the shared boundary at a ratio of at least 1 tree for every 10 metres of the boundary or part thereof, with the trees evenly spaced along that boundary.~~
- ~~b. Within the Character Area Overlay for all activities, a landscape strip with a minimum width of 3 metres shall be planted:~~
 - ~~i. comprising a combination of tree and garden planting; and~~
 - ~~ii. along the length of the road boundary excluding that part required for a driveway or pedestrian access.~~

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in **green** font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in **purple** is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in **blue** font indicates links to other provisions in the district Plan an Fd/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

14.5 Rules - ~~Residential~~ Medium Density Residential Zone

14.5.1 Activity status tables

14.5.1.1 Permitted activities

- a. The activities listed below are permitted activities in the ~~Residential~~ Medium Density Residential Zone if they meet the activity specific standards set out in this table, the built form standards in Rule [14.5.2](#) and the area specific rules in Rule [14.5.3](#).
- b. Activities may also be permitted controlled, restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.5.1.2](#), [14.5.1.3](#), [14.5.1.4](#), [14.5.1.5](#) and [14.5.1.6](#), or in the area specific rules in Rule [14.5.3](#).

Activity		Activity specific standards
P1	<u>Residential activity</u> , except for residential units containing more than six bedrooms and boarding houses	<ol style="list-style-type: none">a. No more than one heavy vehicle shall be stored on the site of the residential activity.b. Any motor vehicles and/or boats dismantled, repaired or stored on the site of the residential activity shall be owned by people who live on the same site.c. On sites located within the Riccarton Wastewater Interceptor Overlay, until (date of completion of infrastructure work):<ol style="list-style-type: none">i. the minimum site area for any residential unit shall be 330m².c. <u>There must be no more than 3 residential units per site.</u>

P2	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing up to 6 bedrooms	Nil
P3	Conversion of an elderly person's housing unit existing at 6 December 2013, into a residential unit that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument	<p>a. Each converted unit shall have:</p> <ul style="list-style-type: none"> i. a minimum gross floor area, excluding terraces, garages, sun decks and verandahs, of 35m²; and ii. a separate outdoor living space readily accessible from its living area that is at least 30m² with a minimum dimension of 3 metres.
P43	Home occupation (Proposed Plan Change 5D)	<ul style="list-style-type: none"> a. The gross total floor area of the building or part of the building (measured internally), plus the area used for any outdoor storage area, occupied by the home occupation shall be less no more than 40m². b. The maximum number of FTE persons employed in the home occupation, who reside permanently elsewhere than on the site, shall be two. c. Any retailing retail activity shall be limited to: <ul style="list-style-type: none"> i. the sale of goods grown or produced on the site; ii. goods incidental to an on-site service provided by the home occupation where the goods storage and/or display occupies no more than 1m² of floor area; or iii. internet-based sales where no customer visits occur; and iv. retail activity shall exclude food and beverage outlets. d. Manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out in a fully enclosed building. e. The hours of operation, when the site is open to visitors, clients, and deliveries, shall be limited to between the hours of: <ul style="list-style-type: none"> i. 07:00 - 21:00 Monday to Friday; and ii. 08:00 - 19:00 Saturday, Sunday and public holidays. f. Visitor, courier vehicles and or staff parking areas shall be within the net site area of the property and outside the road boundary setback. g. Vehicle movements associated with the home occupation shall not exceed: <ul style="list-style-type: none"> i. heavy vehicles: 2 per week; and ii. other vehicles: 16 per day. h. Outdoor advertising Signage shall be limited to a maximum area of 20.5m². <p>(Plan Change 5D Council Decision)</p>

P54	Care of non-resident children within a residential unit in return for monetary payment to the carer	a. There shall be: i. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and ii. at least one carer residing permanently within the residential unit.							
P6	Bed and breakfast (Plan Change 4 subject to appeal)	a. There shall be: i. a maximum of six guests accommodated at any one time; ii. at least one owner of the residential unit residing permanently on site; and iii. no guest given accommodation for more than 90 consecutive days. (Plan Change 4 subject to appeal)							
P75	Education activity	a. The activity shall: i. only locate on sites with frontage and the primary entrance to a minor arterial road or collector road where right turn offset, either informal or formal, is available; ii. only occupy a gross floor area of building of less than 200m ² ; or in the case of a health care facility, less than 300m ² ; iii. limit outdoor advertising to a maximum area of 2m ² ; iv. limit the hours of operation when the site is open to visitors, students, patients, clients, and deliveries to between the hours of: <table><tr><td>A. Education activity</td><td>I. 07:00 – 21:00 Monday to Saturday; and II. Closed Sunday and public holidays.</td></tr><tr><td>B.Preschools</td><td>I. 07:00 – 21:00 Monday to Friday, and II. 07:00 – 13:00 Saturday, Sunday and public holidays.</td></tr><tr><td>C. Health care facility</td><td rowspan="2">I. 07:00 – 21:00.</td></tr><tr><td>D.Veterinary care facility</td></tr></table>	A. Education activity	I. 07:00 – 21:00 Monday to Saturday; and II. Closed Sunday and public holidays.	B.Preschools	I. 07:00 – 21:00 Monday to Friday, and II. 07:00 – 13:00 Saturday, Sunday and public holidays.	C. Health care facility	I. 07:00 – 21:00.	D.Veterinary care facility
A. Education activity	I. 07:00 – 21:00 Monday to Saturday; and II. Closed Sunday and public holidays.								
B.Preschools	I. 07:00 – 21:00 Monday to Friday, and II. 07:00 – 13:00 Saturday, Sunday and public holidays.								
C. Health care facility	I. 07:00 – 21:00.								
D.Veterinary care facility									
P86	Preschools, other than as provided for in Rule 14.5.1.1 P5.								
P97	Health care facility								
P108	Veterinary care facility								
P119	Place of assembly								

		<div>E.Places of assembly</div> <ul style="list-style-type: none"> v. in relation to preschools, limit outdoor play areas and facilities to those that meet Rule 6.1.5.2.1 Table 1: Zone noise limits outside the Central City; vi. in relation to preschools, veterinary care facilities and places of assembly (See Figure 1.): <ul style="list-style-type: none"> A. only locate on sites where any residential activity on an adjoining front site, or front site separated by an access, with frontage to the same road is left with at least one residential neighbour. That neighbour shall be on an adjoining front site, or front site separated by an access, and have frontage to the same road; and B. only locate on residential blocks where there are no more than two non-residential activities already within that block; vii. in relation to veterinary care facilities, limit the boarding of animals on the site to a maximum of four; viii. in relation to places of assembly, entertainment activities shall be closed Sunday and public holidays; and ix. not include the storage of more than one heavy vehicle on the site of the activity.
P12 10	Community corrections facilities	<ul style="list-style-type: none"> a. The facilities shall: <ul style="list-style-type: none"> i. limit the hours of operation when the site is open to clients and deliveries to between the hours of 07:00 – 19:00; and ii. limit signage to a maximum area of 2m².
P13 11	Community welfare facilities	
P14 12	Spiritual activities	<ul style="list-style-type: none"> a. The activity shall: <ul style="list-style-type: none"> i. limit the hours of operation to 07:00-22:00; and ii. not include the storage of more than one heavy vehicle on the site of the activity.
P15 13	Emergency services facilities	Nil
P16 14	Repair or rebuild of multi-unit residential complexes damaged by the Canterbury earthquakes of 2010 and 2011 on properties with cross leases, company	<ul style="list-style-type: none"> a. Where the repair or rebuild of a building will not alter the building footprint, location, or height, the building need not meet the built form standards. b. Where the building footprint, location, or height is to be altered no more than necessary in order to comply with

	leases or unit titles as at the date of the earthquakes	<p>legal or regulatory requirements or the advice of a suitably qualified and experienced chartered engineer:</p> <ol style="list-style-type: none"> the only built form standards that shall apply are those specified in Rules 14.5.2.3 – Building height and 14.5.2.6 – Daylight recession planes Height in relation to boundaries; in relation to the road boundary setback, the repaired or rebuilt building shall have a setback of at least 3 1.5 metres; the standards at (i) and (ii) shall only apply to the extent that the repaired or rebuilt building increases the level of non-compliance with the standard(s) compared to the building that existed at the time of the earthquakes. <p>Advice note:</p> <ol style="list-style-type: none"> Examples of regulatory or legal requirement that may apply include the New Zealand Building Code, Council bylaws, easements, and other rules within this Plan such as the requirements for minimum floor levels in Chapter 5. If paragraphs a. and b. do not apply, the relevant built form standards apply. Any application arising from not meeting standards a. and b.i. shall not be publicly notified, and may be limited notified to adjoining property owners (where the consent authority considers this is required, and absent written approval). Any application arising from not meeting standard b.ii. (road boundary setbacks), shall not be limited or publicly notified.
P17 15	<p>Temporary lifting or moving of earthquake damaged buildings where the activity does not meet one or more of Rules:</p> <ol style="list-style-type: none"> Rule 14.5.2.3 – Building height and maximum number of storeys; Rule 14.5.2.4 – Site coverage; Rule 14.5.2.5 – Outdoor living space; Rule 14.5.2.6 – Daylight recession planes; or Rule 14.5.2.7 – Minimum building 	<ol style="list-style-type: none"> Buildings shall not be: <ol style="list-style-type: none"> moved to within 1 metre of an internal boundary and/or within 3 metres of any water body, scheduled tree, listed heritage item, areas listed as Sites of Ecological Significance (in Sub-chapter 9.1), Natural Landscapes, Features or Character (in Sub-chapter 9.2), or Sites of Ngai Tahu Cultural Significance (in Sub-chapter 9.5), any Council owned structure, archaeological site, or the coastal marine area; or lifted to a height exceeding 3 metres above the applicable recession plane or height control. The building must be lowered back or moved back to its original position, or a position compliant with the District Plan or consistent with a resource consent, within 12 weeks of the lifting or moving works having first commenced.

	setback from internal boundaries and railway lines.	<p>c. In all cases of a building being moved or lifted, the owners/occupiers of land adjoining the sites shall be informed of the work at least seven days prior to the lift or move of the building occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The Council's Resource Consents Manager shall be notified of the lifting or moving the building at least seven days prior to the lift or move of the building occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>
P1816	Salvation Army Addington Overlay	
	P1816.1 Family store	a. The activity shall take place in the existing (20 August 2014) Family store within the Salvation Army Addington Overlay.
	P1816.2 Addiction services	<p>a. The activity shall:</p> <ul style="list-style-type: none"> i. only locate within the Salvation Army Addington Overlay; ii. provide for a maximum of 19 overnight beds; and iii. take place in the existing (20 August 2014) addiction services buildings, or in upgraded or replacement buildings that meet the built form standards (Rule 14.5.2).
	P1816.3 Supportive housing	<p>a. The activity shall:</p> <ul style="list-style-type: none"> i. only locate within the Salvation Army Addington Overlay; ii. provide for a maximum of 85 residents including those on reintegration programmes, which may be in a mixture of individual and shared housing; and iii. take place in the existing (20 August 2014) supportive housing buildings, or in upgraded or replacement buildings that meet the built form standards (Rule 14.5.2).
	P1816.4 Offices and meeting rooms for administration, counselling, family meetings, budgeting, education or training and worship services on Salvation Army land in Addington (legally described as Rural Section	a. The activity shall take place in the existing (20 August 2014) buildings , or in upgraded or replacement buildings that meet the built form standards (Rule 14.5.2).

	39449, Lot 23-24 and Part Lot 25 DP 1024, Lot 22 and Part Lot 25 DP 1024, Part Lot 21 DP 1024, and Part Lot 21 and Part Lot 25 DP 1024).	
P19 17	<p>a. The use of the existing control tower buildings (Lot 357 DP 447629) and hangars 4 and 5 (Lot 315 DP 434068) for the following activities:</p> <ul style="list-style-type: none"> i. Residential activities; ii. Preschools; iii. Health care facility; iv. Education activity; v. Place of assembly; vi. Retail activity; vii. Office; or viii. Warehouse activity 	<p>a. The maximum gross floor area of retail activity shall be 1500m².</p> <p>b. Heavy vehicle movements associated with any warehouse activity shall be limited to the hours of 07:00 to 19:00.</p>
P20 18	Relocation of a building	Nil
P21 19	Market gardens, community gardens, and garden allotments	
P22 20	Hosted visitor accommodation	<p>a. A maximum of six guests shall be accommodated at any one time.</p> <p>b. The Council shall be notified in writing prior to commencement.</p> <p>c. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request.</p> <p>d. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.</p>

<p>P23 21</p>	<p>Visitor accommodation in a heritage item</p>	<ul style="list-style-type: none"> a. A permanent resident or manager/supervisor for the property shall be in residence on the site for the duration of any visitors' stays. b. A maximum of ten guests shall be accommodated at any one time. c. The Council shall be notified in writing prior to commencement. d. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request. e. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request. <p>(Plan Change 4 subject to appeal)</p>
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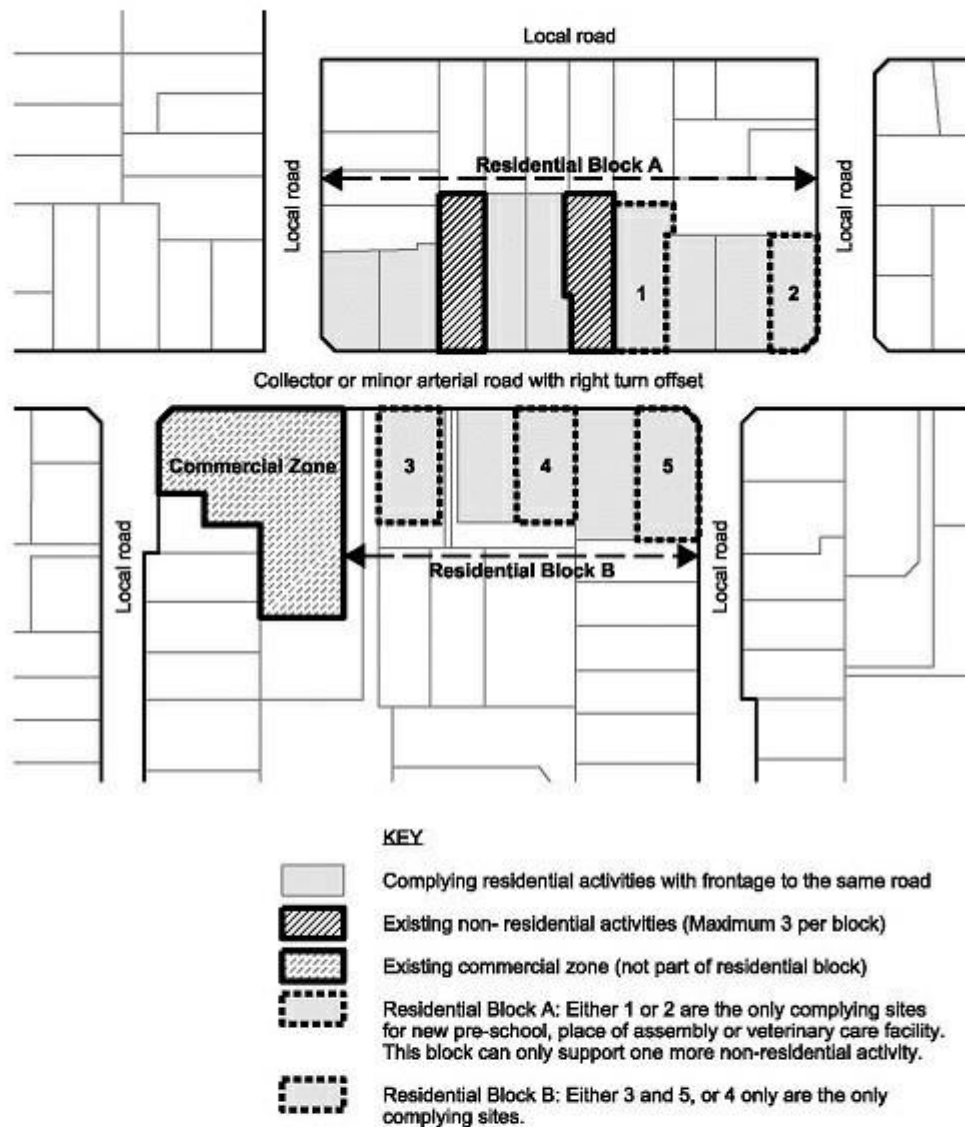


Figure 1: Residential coherence

14.5.1.2 Controlled activities

- a. The activities listed below are controlled activities.
- b. Unless otherwise specified, any application arising from the controlled activity rules listed below shall not be limited or publicly notified.
- c. Discretion to impose conditions is restricted to the matters over which control is reserved in Rule 14.15, as set out in the following table.

Activity	The matters over which Council reserves its control:
C1 Residential units (including any sleep-outs) containing more than six bedrooms in total	a. Scale and nature of activity — Rule 14.15.5 b. Traffic generation and access safety — Rule 14.15.6 (Plan Change 5D Council Decision)
C2 Activities that do not comply with Rule 14.5.2.2 — Tree and garden planting	a. Street scene — road boundary building setback, fencing and planting — Rule 14.15.17
C3 Activities and buildings that do not meet Rule 14.5.2.11 — Building overhangs	a. Residential design principles — Rule 14.15.1 d. and e only.
C4 Residential units that do not meet Rule 14.5.2.13 — Ground floor habitable space	a. Residential design principles — Rule 14.15.1 d. and e only.
C5 Residential units that do not meet Rule 14.5.2.14 — Service, storage and waste management spaces	a. Service, storage and waste management spaces — Rule 14.15.19
C61 Unhosted visitor accommodation: a. for a total per site of 60 nights or fewer per year; b. for a maximum of six guests at any one time. (Plan Change 4 Council Decision subject to appeal)	a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles f. Building access arrangements and wayfinding

Activity		The matters over which Council reserves its control:
		<p>g. Controls on the effects and scale of functions or events</p> <p>h. Controls on check-in and check-out times.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>
C2	<p>Visitor accommodation in a heritage item that does not comply with activity specific standard (a) in Rule 14.4.1.1 P23.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	<p>a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information</p> <p>b. Record keeping and provision of information to the Council</p> <p>c. Management of outdoor entertainment and recreation facilities</p> <p>d. Management of solid waste disposal</p> <p>e. Number and size of vehicles used by guests including large vehicles</p> <p>f. Building access arrangements and wayfinding</p> <p>g. Controls on the effects and scale of functions or events</p> <p>h. Controls on check-in and check-out times.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>

14.5.1.3 Restricted discretionary activities

- The activities listed below are restricted discretionary activities.
- Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in Rule 14.15, or as specified, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	<p>a. The erection of new buildings and alterations or additions to existing buildings including all accessory buildings, fences and walls associated with that development, that result in:</p>	<p>a. Residential design principles – Rule 14.15.1</p> <p>b. Minimum unit size and unit mix – Rule 14.15.4</p>

	<ul style="list-style-type: none"> i. three<u>four</u> or more residential units; or ii. iii. one or two residential units on a site smaller than 300m² gross site area (prior to subdivision); or iv. one or two residential units resulting in residential floor area greater than 500m²; or v. over 40m² of a building used for other non-residential activities, on a site. <p>b. Except (until date of completion of the infrastructure work) on any site located within the Riccarton Wastewater Interceptor Overlay.</p> <p>c. Any application arising from this rule shall not be limited or publicly notified.</p>	
RD2	Retirement villages	a. Retirement villages – Rule 14.15.9
RD3	Boarding house	<ul style="list-style-type: none"> a. Scale <u>and nature</u> of activity – Rule 14.15.5 b. Traffic generation and access safety – Rule 14.15.6 (Plan Change 5D Council Decision)
RD4	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing 7 to 9 bedrooms	<ul style="list-style-type: none"> a. Scale <u>and nature</u> of activity – Rule 14.15.5 (Plan Change 5D Council Decision)
RD5	<ul style="list-style-type: none"> a. Convenience activities where: <ul style="list-style-type: none"> i. the site is located on the corner of a minor arterial road; ii. the total area occupied by retailing on the site is no more than 50m² public floor area; iii. the activity does not include the sale of alcohol; iv. outdoor advertising is limited to no more than 2m² and shall be within the road boundary setback; v. the hours of operation when the site is open to business visitors or clients are limited to between the hours of 07:00 – 22:00 Monday to Sunday and public holidays; and vi. there is no provision of on-site parking area for visitors or service purposes. 	<ul style="list-style-type: none"> a. Residential design principles – Rule 14.15.1 b. Scale <u>and nature</u> of activity – Rule 14.15.5 c. Non-residential hours of operation – Rule 14.15.244 d. Traffic generation and access safety – Rule 14.15.6 (Plan Change 5D Council Decision)

RD6	Retail activity with frontage only to public access ways identified in Sumner Master plan Overlay (Appendix 14.16.6)	a. Urban design - Rule 15.13.1.a.viii only
RD7	<p>a. Integrated Family Health Centres where:</p> <ul style="list-style-type: none"> i. the centre is located on sites with frontage and the primary entrance to a minor arterial road or collector road where right turn offset, either informal or formal is available; ii. the centre is located on sites adjoining a Neighbourhood centre, District centre or Key activity centre; iii. the centre occupies a gross floor area of building of between 301m² and 700m²; iv. outdoor advertising signage is limited to a maximum area of 2m²; and v. the hours of operation when the site is open to patients, or clients, and deliveries is limited to between the hours of 07:00 - 21:00. 	<p>a. Scale and nature of activity – Rule 14.15.5</p> <p>b. Traffic generation and access safety – Rule 14.15.6</p> <p>c. Non-residential hours of operation – Rule 14.15.214 (Plan Change 5D Council Decision)</p>
RD8	<p>a. Activities that do not meet one or more of the activity specific standards in Rule 14.5.1.1 (except for P7-P10 standard ix., refer to Rule 14.5.1.4 D2) for:</p> <ul style="list-style-type: none"> i. P4 Home occupations; <ul style="list-style-type: none"> A. that do not meet standard a. and occupy a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area, no greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings; B. that do not meet one or more of standards b. to h. ii. P7 Education activity; iii. P8 Preschools, other than as provided for in Rule 14.5.1.1 P5 and Rule 14.5.1.4 D2; iv. P9 Health care facility; or v. P10 Veterinary care facility. <p>b. Any application arising from these rules shall not be limited or publicly notified. (Plan Change 5D Council Decision)</p>	<p>a. As relevant to the activity specific standard that is not met:</p> <ul style="list-style-type: none"> i. Scale and nature of activity – Rule 14.15.5 ii. Traffic generation and access safety – Rule 14.15.6 iii. Non-residential hours of operation – Rule 14.15.214 (Plan Change 5D Council Decision)
RD9	a. Community corrections facilities and community welfare facilities that do not meet one or more of the activity specific standards in Rule 14.5.1.1 P12 or P13.	

	b. Any application arising from these rules shall not be limited or publicly notified.	
RD10	<p>a. Within the Salvation Army Addington Overlay:</p> <ul style="list-style-type: none"> i. Provision for overnight beds for addiction services which exceed the maximum number in activity specific standard Rule 14.5.1.1, P18.2 a ii., up to a maximum total of 25 overnight beds. ii. Provision for supportive housing which exceeds the maximum number of residents in activity specific standard Rule 14.5.1.1 P18.3 a ii., up to a maximum total of 100 residents. iii. Any upgrades (including exterior alterations or additions) to buildings existing on the 20 August 2014, or any replacement buildings for the activities specified in Rule 14.5.1.1 P18.2, P18.3 and P18.4, that do not meet one or more of the relevant built form standards Rule 14.5.2. 	<p>a. Scale and nature of activity – Rule 14.15.5</p> <p>b. Traffic generation and access safety – Rule 14.15.6</p> <p>(Plan Change 5D Council Decision)</p>
RD11	<p>a. Temporary lifting or moving of earthquake damaged buildings that does not meet the standards in Rule 14.5.1.1 P17.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Relocation of a buildings and temporary lifting or moving of earthquake damaged buildings – Rule 14.15.16</p>
RD12	Buildings that do not meet Rule 14.5.2.7 (vi) relating to rail corridor boundary setbacks	<p>a. Whether the reduced setback from the rail corridor will enable buildings to be maintained without requiring access above, over, or on the rail corridor.</p>
RD13	<p>a. Spiritual activities that do not meet the hours of operation in Rule 14.5.1.1 P14.</p> <p>b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to directly abutting land owners and occupiers (absent written approval).</p>	<p>a. Non-residential hours of operation– Rule 14.15.214</p>
RD14	<p>Buildings that do not meet Rule 14.5.2.3 up to a maximum height of 14 metres (unless otherwise provided for in that rule)</p> <p>a. Buildings that do not meet Rule 14.5.2.3 – Building height.</p> <p>b. Any application arising from this rule, for up to three residential units per site, shall not be publicly notified.</p>	<p>a. Impacts on neighbouring property – Rule 14.15.3.a</p>

RD15	<p>a. Buildings that do not meet Rule 14.5.2.6 – Daylight recession planes <u>Height in Relation to Boundary</u>.</p> <p>b. <u>Any application arising from this rule, for up to three residential units per site, shall not be publicly notified.</u></p>	<p>a. Impacts on neighboring property – Rule <u>14.15.3.a</u></p> <p>b. <u>Height in relation to boundary – Rule 14.15.4</u></p>
RD16	<p>a. Activities and buildings that do not meet Rule <u>14.5.2.4 – Site coverage</u></p> <p>b. <u>Any application arising from this rule, for up to three residential units per site, shall not be publicly notified.</u></p>	<p>a. Site density and site coverage – Rule <u>14.15.2</u></p>
RD17	<p>a. Buildings that do not meet Rule <u>14.5.2.7 – Minimum building setbacks</u> internal boundaries and railway lines (other than <u>14.5.2.7(vi)</u>; refer RD12).</p> <p>b. <u>Any application arising from rule 14.5.2.7 road setback (only) shall not be publicly or limited notified.</u></p> <p>c. <u>Any application arising from this rule shall not be publicly notified.</u></p>	<p>a. Impacts on neighbouring property – Rule <u>14.15.3</u></p> <p>b. Minimum building, window and balcony setbacks – Rule <u>14.15.18</u></p>
RD18	Buildings that do not meet Rule 14.5.2.8 – Minimum setback and distance to living area windows	
RD198	<p>a. Residential units that do not meet <u>14.5.2.5 – Outdoor living space</u>.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Outdoor living space – Rule <u>14.15.20</u></p>
RD20	<p>a. Buildings that do not meet Rule 14.5.2.9 – Road boundary building setback.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Street scene – road boundary building setback, fencing and planting <u>Residential fencing – Rule 14.15.173</u></p>
RD219	<p>a. Buildings that do not meet Rule <u>14.5.2.10 – Street scene amenity and safety – fences</u></p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	
RD22	<p>a. Residential units that do not meet Rule 14.5.2.12 – Minimum unit size.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Minimum unit size and unit mix – Rule 14.15.4</p>
RD230	<p>a. Residential units that do not meet Rule <u>14.5.2.15 – Water supply for fire fighting</u>.</p> <p>b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to the New Zealand Fire Service (absent its written approval).</p>	<p>a. Water supply for fire fighting – Rule <u>14.15.7</u></p>
RD241	Care facility	<p>a. Scale <u>and nature</u> of activity – Rule <u>14.15.5</u></p>

		<p>b. Traffic generation and access safety – Rule 14.15.6</p> <p>(Plan Change 5D Council Decision)</p>
RD22	<p>a. <u>The erection of new residential units and alterations or additions to residential units that do not meet Rule 14.5.2.11 – Windows to street.</u></p> <p>b. <u>Any application arising from this rule shall not be limited or publicly notified.</u></p>	<p>a. <u>Street-facing glazing non-compliance – Rule 14.15.22</u></p>
RD23	<p>a. <u>Activities that do not meet Rule 14.5.2.2 – Landscaped area.</u></p> <p>b. <u>Any application arising from this rule shall not be limited or publicly notified.</u></p>	<p>a. <u>Residential landscaping – Rule 14.15.23</u></p>
RD24	<p><u>Residential units that do not meet Rule 14.5.2.14 – Service, storage, and waste management spaces</u></p>	<p>a. <u>Service, storage and waste management spaces – Rule 14.15.21</u></p>
RD25	<p>a. <u>Any garage or carport that does not comply with the garage and carport building location standards under Rule 14.5.2.16 – Garaging and carport building location; or</u></p> <p>b. <u>Any habitable room that does not comply with Rule 14.5.2.11 – Ground floor habitable room.</u></p> <p>c. <u>Any application arising from this rule shall not be limited or publicly notified.</u></p>	<p>a. <u>Residential design principles – Rule 14.15.1.d and 14.15.1.h</u></p>
RD26	<p>a. <u>New buildings, structures or additions greater than 20 metres in height from ground level that do not result in wind conditions that exceed the following cumulative standards (Gust Equivalent Mean) more than 5% annually at ground level, within 100 metres of the site, based on modelling:</u></p> <p>i. <u>4m/s at the any boundary of any site, if that boundary adjoins public open spaces, private outdoor living spaces, or footpath(s); or</u></p> <p>ii. <u>6m/s within any carriageway or car parking areas provided within or outside the site.</u></p> <p>b. <u>New buildings, structures or additions greater than 20 metres in height that do not result in wind speeds exceeding 15m/s more than 0.3% annually at ground level.</u></p> <p>c. <u>The requirements of a. and b. shall be demonstrated by a suitably qualified professional.</u></p>	<p>a. <u>Assessment of wind – Rule 14.15.28</u></p>

RD27	<p>a. <u>Residential units that do not meet Rule 14.5.2.9 – Outlook space.</u></p> <p>b. <u>Any application arising from this rule, for up to three residential units per site, shall not be publicly notified.</u></p>	a. <u>Outlook space occupation – Rule 14.15.21</u>
RD28	<u>Residential units that do not meet Rule 14.5.2.18 – Building reflectivity</u>	a. <u>Residential design principles – Rule 14.5.1.i. – Hillside and small settlement areas</u>
RD29	<p>a. <u>Activities that do not meet Rule 14.5.2.19 – Location of outdoor mechanical ventilation</u></p> <p>b. <u>Any application arising from this rule shall not be limited or publicly notified.</u></p>	a. <u>Residential design principles – Rule 14.15.1.d and 14.15.1.e</u>

14.5.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

Activity	
D1	Any activity not provided for as a permitted, controlled, restricted discretionary, non-complying, or prohibited activity
D2	<p>a. Activities that do not meet one or more of the activity specific standards in Rule 14.5.1.1 for:</p> <ul style="list-style-type: none"> i. P1 Residential activity; ii. P3 Conversion of an elderly person's housing unit into a residential unit; iii. P5 Care of non-resident children in a residential unit; iv. P6 Bed and breakfast; v. P11 Place of assembly; or vi. Storage of more than one heavy vehicle for activities for P7-P10 and P14. vii. P19 The use of the existing control tower building (Lot 357 DP 447629) and hangars 4 and 5 (Lot 315 DP 434068). <p>(Plan Change 4 Council Decision subject to appeal)</p>
D3	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing 10 or more bedrooms
D4	Show homes
D5	Integrated family health centres which do not meet one of more of the requirements specified in Rule 14.5.1.3 RD7
D6	<p>a. Redevelopment of brownfield areas for mixed commercial and residential activities on the following sites:</p> <ul style="list-style-type: none"> i. Deans Avenue (Former Saleyards)
D7	a. Hosted visitor accommodation that does not comply with activity specific standards in Rule 14.5.1.1 P22 and that does not exceed twelve guests per site at any one time.

	<p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>
D8	<p>a. Unhosted visitor accommodation that does not comply with Rule 14.5.1.2 C6 and that does not exceed twelve guests per site at any one time; and</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>
D9	<p>a. Visitor accommodation in a heritage item that does not comply with activity specific standards (b) - (e) in Rule 14.5.1.1 P23 and that does not exceed twenty guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>
D10	<p>Home occupation with a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area occupied, greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings.</p> <p>(Plan Change 5D Council Decision)</p>

14.5.1.5 Non-complying activities

- a. The activities listed below are non-complying activities.

	Activity
NC1	Activities and buildings that do not meet Rule 14.5.2.3 where the height is over 14 metres (unless otherwise specified in that rule)
NC21	<p>a. Sensitive activities and buildings (excluding accessory buildings associated with an existing activity):</p> <ol style="list-style-type: none"> within 12 metres of the centre line of a 110kV or 220kV National Grid transmission line or within 12 metres of the foundation of an associated support structure; or within 10 metres of the centre line of a 66kV National Grid transmission line or within 10 metres of a foundation of an associated support structure; or <p>b. Fences within 5 metres of a National Grid transmission line support structure foundation.</p> <p>c. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Transpower New Zealand Limited (absent its written approval).</p> <p>Advice note:</p> <ol style="list-style-type: none"> The National Grid transmission lines are shown on the planning maps.

	Activity
	<p>2. Vegetation to be planted around the National Grid should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003.</p> <p>3. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to National Grid transmission lines. Buildings and activity in the vicinity of National Grid transmission lines must comply with NZECP 34:2001.</p>
NC32	<p>a. Sensitive activities and buildings (excluding accessory buildings associated with an existing activity):</p> <ol style="list-style-type: none"> within 10 metres of the centre line of a 66kV electricity distribution line or within 10 metres of a foundation of an associated support structure; or within 5 metres of the centre line of a 33kV electricity distribution line or within 5 metres of a foundation of an associated support structure; or within 5 metres of the centre line of the 11kV Heathcote to Lyttelton electricity distribution line or within 5 metres of a foundation of an associated support structure. <p>b. Fences within 5 metres of a 66kV or 33kV electricity distribution line support structure foundation.</p> <p>c. Fences within 5 metres of an 11kV Heathcote to Lyttelton electricity distribution line support structure foundation.</p> <p>d. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Orion New Zealand Limited or other electricity distribution network operator (absent written approval).</p> <p>Advice note:</p> <ol style="list-style-type: none"> The electricity distribution lines are shown on the planning maps. Vegetation to be planted around electricity distribution lines should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003.
NC43	<p>a. Visitor accommodation that is:</p> <ol style="list-style-type: none"> not hosted visitor accommodation, unhosted visitor accommodation or visitor accommodation in a heritage item; hosted visitor accommodation that exceeds the maximum number of guests in Rule 14.5.1.4 D7; unhosted visitor accommodation that exceeds the maximum number of guests in Rule 14.5.1.4 D8; visitor accommodation in a heritage item that exceeds the maximum number of guests in Rule 14.5.1.4 D9; or

	Activity
	<p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>

14.5.1.6 Prohibited activities

There are no prohibited activities.

14.5.2 Built form standards

- a. The following built form standards shall be met by all permitted activities and restricted discretionary activities RD1, unless otherwise stated.

14.5.2.1 Site density and servicing

Advice Notes:

1. There is no **site** density standard in the ~~Residential~~ Medium Density **Residential** Zone.
2. There is no spare, or limited, wastewater, storm water, or water supply infrastructure capacity in some areas of Christchurch City which may create difficulties in granting a building consent for some developments. Alternative means of providing for those services may be limited or not available. Compliance with the District Plan does not guarantee that connection to the Council's reticulated infrastructure is available or will be approved. Connection to the Council's reticulated infrastructure requires separate formal approval from the Council. There is a possibility that approval to connect will be declined, or development may trigger the need for infrastructure upgrades or alternative servicing at the developer's cost. Anyone considering development should, at an early stage, seek information on infrastructure capacity from Council's Three Waters Unit. Please contact the Council's Three Waters Unit at WastewaterCapacity@ccc.govt.nz, WaterCapacity@ccc.govt.nz and Stormwater.Approvals@ccc.govt.nz.

14.5.2.2 ~~Tree and garden planting~~ **Landscaped area**

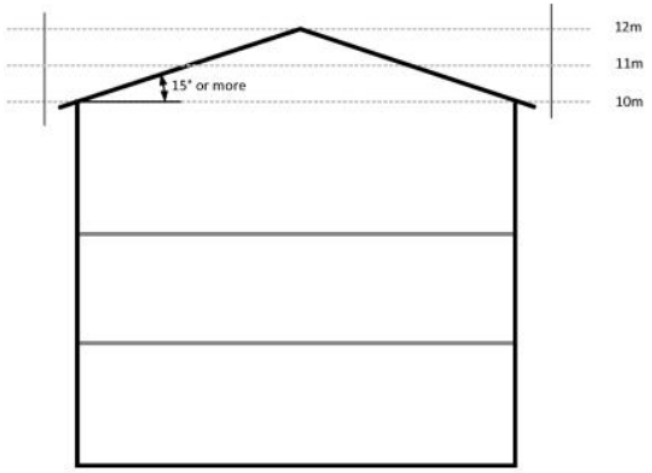
- a. A residential unit at ground floor level must have a landscaped area of a minimum of 20% of a developed site with grass or plants, and can include the canopy of trees regardless of the ground treatment below them.
- b. The landscaped area may be located on any part of the development site, and does not need to be associated with each residential unit.
- c. All other Sites shall include the minimum tree and garden planting as set out in the below table:

	For all non-residential activities, except permitted commercial activities in the Sumner Master plan Overlay
i.	<p>a. A minimum of 20% of the site shall be provided for landscaping (which may include private or communal open space), where</p> <p>i. at least 50% of the landscaping shall be trees and shrubs, and</p>

	<p>ii. a minimum of one tree for every 250m² of gross site area (prior to subdivision), or part thereof, is included within the landscaping, and</p> <p>iii. at least one tree shall be planted adjacent to the road boundary.</p> <p>b. All trees required by this rule shall be not less than 1.5 metres high at the time of planting.</p> <p>c. All trees and landscaping required by this rule shall be maintained and if dead, diseased or damaged, shall be replaced.</p> <p>d. For multi-unit residential complexes, social housing complexes, retirement villages, and groups of older person's housing units, the minimum tree and garden planting requirements shall be determined over the site of the entire complex.</p>
ii.	In the Salvation Army Addington Overlay – a landscape and planting plan be prepared with a method of implementation and maintenance for the full site area. This plan shall be implemented within two growing seasons of its approval and thereafter maintained. Attention shall be paid to that area 4 metres from the boundary with each road and around the stream to enhance the area, create restful space and encourage bird life.

14.5.2.3 Building height and maximum number of storeys

- a. The maximum **height** of any **building** shall be:

Activity	Standard
i. All buildings in areas not listed below	<p>11 metres provided there is a maximum of 3 storeys</p> <p>a. Unless b. applies, buildings must not exceed 11 metres in height above ground level, except that 50% of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1 metre, where the entire roof slopes 15° or more, as shown on the following diagram:</p>  <p>b. Within the Local Centre Intensification Precinct, buildings containing residential units must not exceed 14 metres in height above ground level.</p>

	Activity	Standard
		<p>c. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, only the standards in 14.5.2.3.a shall apply.</p>
ii.	Residential Medium Density Lower Height Limit Overlay	<p>8 metres</p> <p>a. On sites of 1500 m² or greater, the maximum height of any building shall be 11 metres, with a maximum of three storeys, except that:</p> <p>i. within 10 metres of a site boundary that directly adjoins the Residential Suburban or Residential Suburban Density Transition Zone, the maximum height shall be 8 metres.</p>
iii.	Residential Medium Density Lower Height Limit Overlay at Central Riccarton	8 metres
iv.	Sumner Residential Medium Density Zone	9.5 metres
v.	Sumner Master plan Overlay, on the two prominent corners identified in Appendix 14.16.6	<p>a. 13 metres</p> <p>b. Provided that the area above 9.5 metres is limited to no more than 100m² in gross floor area and is located at the apex of the street corner.</p>
vi.ii.	Within the Medium Density Residential Medium Density Zone in the Commercial Local Zone (St Albans) Outline development plan shown as Area A in Chapter 15 Appendix 15.5.5	14 metres
vii.	Residential Medium Density Higher Height Limit Overlay at Deans Avenue	20 metres
viii.	Residential Medium Density Higher Height Limit Overlay at Carlton Mill Road	30 metres
ix.	Residential Medium Density Higher Height Limit Overlay at New Brighton and North Beach	<p>a. 14 metres North Beach (area bounded by Marine Parade, Pacific Road, Jutland Street, Cygnet Street, Tonks Street, and Bowhill Road)</p> <p>b. 20 metres Central New Brighton</p> <p>(Plan Change 5F Council Decision)</p>
x.	All Residential Medium Density Height Limit Overlays (other than at Carlton Mill Road)	Any building shall not exceed 5 storeys above ground level
xi.	In the Salvation Army Addington Overlay	11 metres
iii.	All buildings on the Woolston Fire Station and Training Centre site at 929 Ferry Road, Lot 1 DP72727.	20 metres

Advice note:

1. ~~See the permitted height exceptions contained within the definition of height.~~

14.5.2.4 Site coverage

- a. ~~The maximum percentage of the building coverage must not exceed net site area covered by buildings shall be 50% of the net site area.~~
- b. For ~~multi-unit residential complexes, social housing complexes, retirement villages and groups of older person's housing units,~~ the percentage coverage by buildings shall be calculated over the net site area of the entire complex or group, rather than over the net area of any part of the complex or group.
- c. Eaves and roof overhangs up to 300mm in width and guttering up to 200mm in width from the wall of a building shall not be included in the building coverage calculation.
- d. From the date of notification of Council's Intensification Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, only the standards in 14.5.2.4.a shall apply.

14.5.2.5 Outdoor living space

- a. A residential unit at ground floor level must have an outdoor living space that is at least 20 square metres and that comprises ground floor, balcony, patio, or roof terrace space that,—
 - i. where located at ground level, has no dimension less than 3 metres; and
 - ii. where provided in the form of a balcony, patio, or roof terrace, is at least 8 square metres and has a minimum dimension of 1.8 metres; and
 - iii. is accessible from the residential unit; and
 - iv. may be
 - A. grouped cumulatively by area in 1 communally accessible location; or
 - B. located directly adjacent to the unit.
 - v. is free of buildings, parking spaces, and servicing and manoeuvring areas.
- b. A residential unit located above ground floor level must have an outdoor living space in the form of a balcony, patio, or roof terrace that—
 - i. is at least 8 square metres and has a minimum dimension of 1.8 metres; and
 - ii. is accessible from the residential unit; and
 - iii. may be
 - A. grouped cumulatively by area in 1 communally accessible location, in which case it may be located at ground level; or
 - B. located directly adjacent to the unit.

- a. ~~For residential units with two or more bedrooms outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking areas or access. The required outdoor living space shall be within the following dimensions:~~

i.	Minimum total area for each residential unit	30m²
ii.	Minimum private area	16m²
iii.	Minimum dimension private area when provided at ground level	4 metres
iv.	Minimum dimension private area when provided by a balcony	1.5 metres
v.	Minimum dimension of communal space	4 metres
vi.	Accessibility of communal space	Accessible by all units
vii.	General accessibility for each residential unit	At least one private outdoor living space shall be accessible from a living area of a residential unit
viii.	Minimum required outdoor living space at ground level for entire site	50%

- b. ~~The outdoor living space can be in a mix of private or communal areas at the ground level or in balconies.~~

- c. ~~For one bedroom units or studios on the ground floor outdoor living space shall be provided, and shall not be occupied by parking areas or access, within the following dimensions:~~

i.	Minimum total private area for each residential unit	16m²
ii.	Minimum dimension private area when provided at ground level	4 metres

- d. ~~For one bedroom units exceeding 45m² in area or studios exceeding 35m² in area entirely at an upper level, outdoor living space shall be provided within the following dimensions. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies within the following dimensions:~~

i.	Minimum total private area for each residential unit	16m²
ii.	Minimum private balcony dimensions	A. 6m² area B. 1.5 metres dimension

- d. ~~e.~~ In the Salvation Army Addington Overlay the outdoor living space shall be communal and shall be based on 10m² per residential unit.
- e. This rule does not apply to residential units in a retirement village.
- f. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the standards in 14.5.2.5 f. shall not apply.

14.5.2.6 ~~Daylight recession planes~~ Height in relation to boundary

- a. Buildings must not project beyond a 60° recession plane measured from a point 4 metres vertically above ground level along all boundaries, as shown on the following diagram. Where the boundary forms part of a legal right of way, entrance strip, access site, or pedestrian access way, the height in relation to boundary applies from the farthest boundary of that legal right of way, entrance strip, access site, or pedestrian access way.
- b. This standard does not apply to—
 - i. a boundary with a road:
 - ii. existing or proposed internal boundaries within a site:
 - iii. site boundaries where there is an existing common wall between 2 buildings on adjacent sites or where a common wall is proposed:
 - iv. within the Local Centre Intensification Precinct:
 - A. for the construction of two or more residential units, any part of a building along the first 20 metres of a side boundary measured from the road boundary, or 60% of the site depth, measured from the road boundary, whichever is lesser.
 - 1. For corner sites, depth is taken from individual adjoining boundaries, perpendicular to the boundary. See Figure 1, below.
 - B. Any part of a building above 12 metres in height above ground level, provided that part of the building is set back at least 6 metres from internal boundaries of the development site.
- c. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, only the standards in 14.5.2.6. a. and b. shall apply.
- a. ~~Buildings~~, shall not project beyond a ~~building~~ envelope constructed by recession planes, as shown in, ~~Appendix 14.16.2~~ diagram C, from points 2.3 metres above:
 - i. ~~ground level~~ at the internal ~~boundaries~~; or
 - ii. ~~where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above ground level at the furthest boundary of the access lot or access strip or any combination of these areas; or~~
 - iii. ~~where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.~~
- b. ~~Where the building is located in an overlay that has a permitted height of 11 metres or more, the recession plane measurement shall commence from points 2.3 metres above ground level at the internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.~~
- c. ~~Where the building is located in a Flood Management Area, the exemptions in Rule 5.4.1.3 apply (for activities P1-P4 in Table 5.4.1.1b).~~
- d. ~~Except that:~~

- i. In the Residential Medium Density Zone Higher Height Limit Overlay, the recession plane shall be as shown in [Appendix 14.16.2](#) diagram D, unless the height of the building is greater than 11 metres, in which case refer to diagram E.
- ii. In the Residential Medium Density Lower Height Limit Overlay, the recession plane shall be as shown in [Appendix 14.16.2](#) diagram B.

Advice note:

1. Refer to [Appendix 14.16.2](#) for permitted intrusions.

1. Applicable height in relation to boundary planes are shown in Appendix 14.16.2.

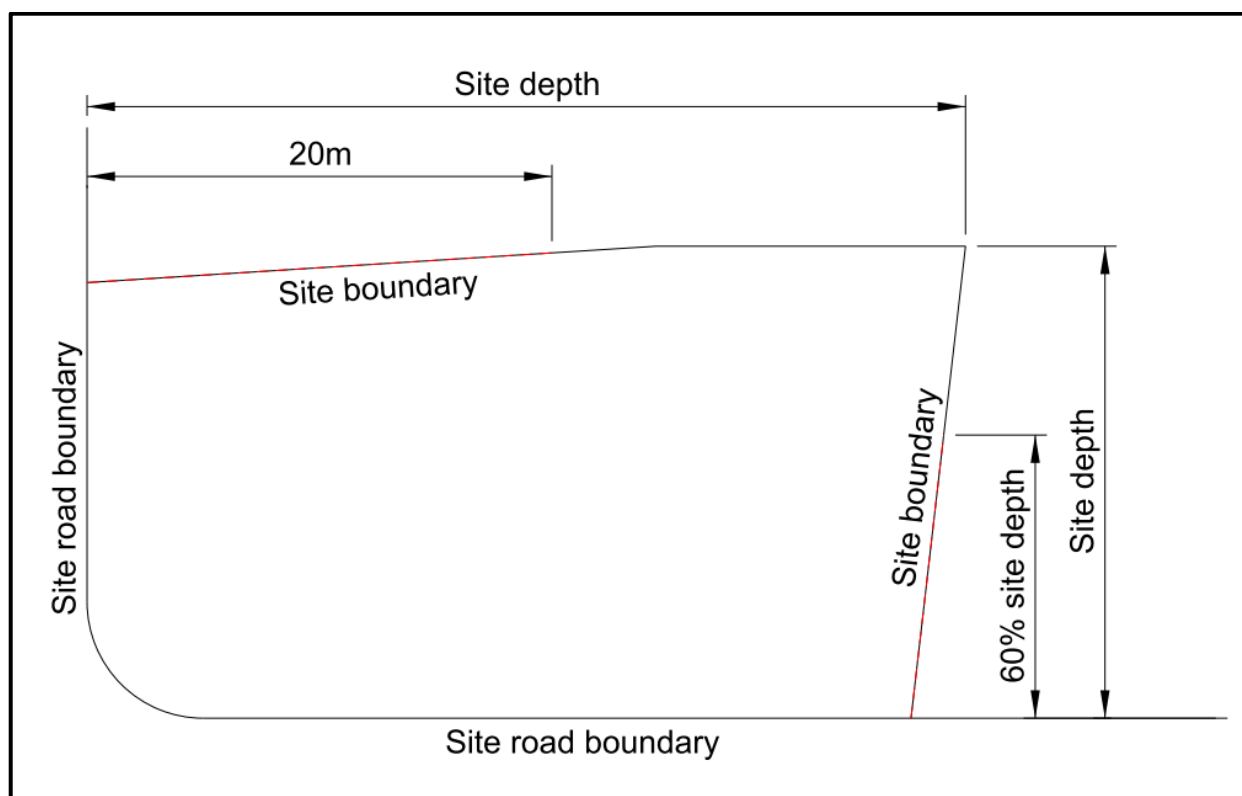


Figure 1: Application of height in relation to boundary exemption in Local Centres Intensification Precinct (14.5.2.6.b.iv)

14.5.2.7 Minimum building setbacks from internal boundaries and railway lines

- a. The minimum building setback from internal boundaries shall be:

	Activity / area	Standard
i.	All buildings not listed below	<p><u>Buildings must be set back from the relevant boundary by the minimum depth listed in the yards table below:</u></p> <p><u>Front: 1.5 metres</u></p>

	Activity / area	Standard
		<u>Side: 1 metre</u> <u>Rear: 1 metre (excluded on corner sites)</u>
ii.	Where residential buildings on adjoining sites have a ground floor window of a habitable space located within 1 metre of the common internal boundary	1.8 metres from that neighbouring window for a minimum length of 2 metres either side of the window — refer diagram below. This rule also applies to accessory buildings .
ii.	<u>Where there is an existing common wall between 2 buildings on adjacent sites or where a common wall is proposed.</u>	<u>Nil</u>
iii.	<u>Eaves and roof overhangs and guttering - road boundary setback only.</u>	<u>Road boundary: Eaves and roof overhangs to a maximum of 300mm in width measured from the wall of a building and guttering up to 200mm in width</u>
iii. iv.	All other accessory buildings where the total length of walls or parts of the accessory buildings within 1 metre of each internal boundary side and rear building setback does not exceed 10.1 metres in length	Nil <u>The accessory building/s shall be no greater than 3 metres in height above ground level.</u>
iv.	Buildings that share a common wall along an internal boundary	<u>Nil</u>
v.	All other buildings where the internal boundary of the site adjoins an access or part of an access	<u>1 metre</u>
vi. v.	<u>Buildings, balconies and decks on sites adjacent to or abutting a designated rail corridor</u>	<u>4 metres from the rail corridor boundary</u>

- b. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the standards in 14.5.2.3 iii. and iv. shall not apply.
- ~~b. For the purposes of this rule this excludes guttering up to 200mm in width from the wall of a building.~~

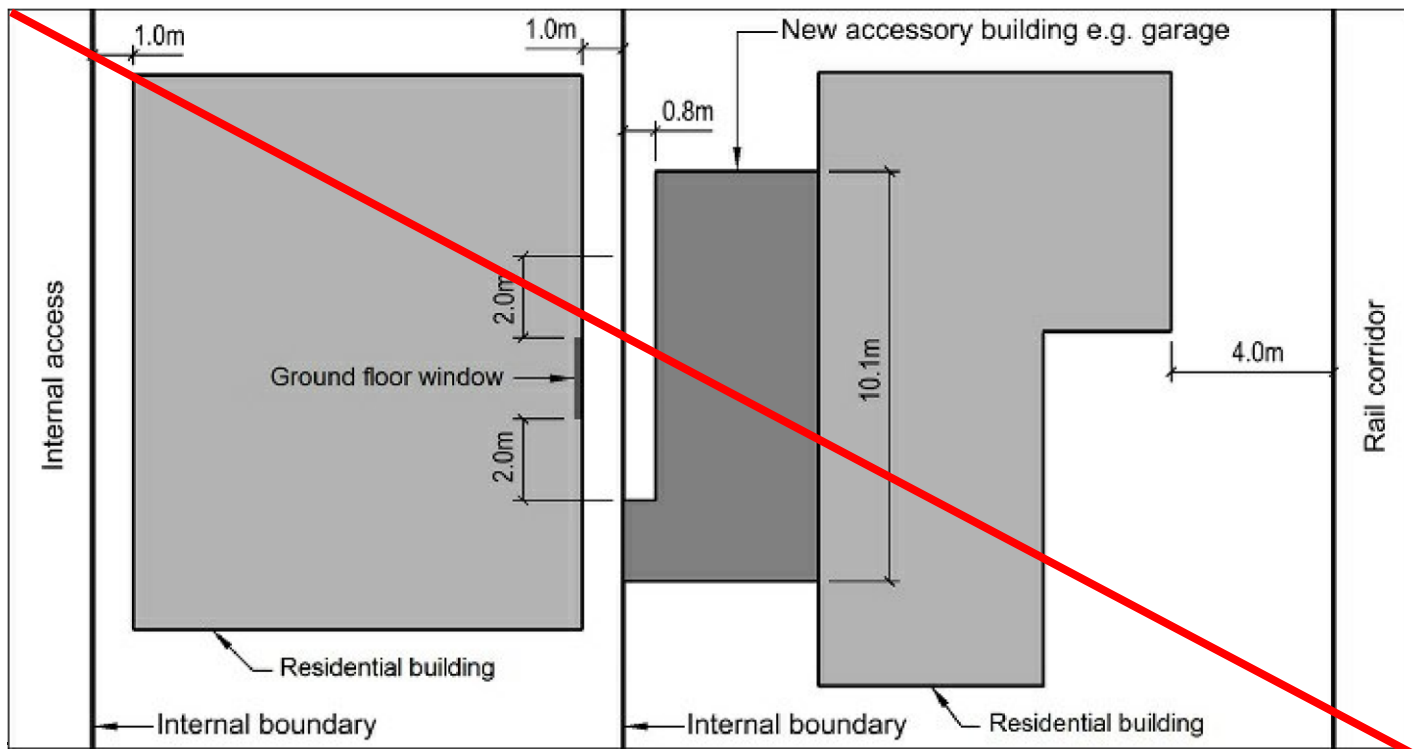


Figure 11: Separation from neighbours

Advice note:

1. ~~This diagram is an illustrative example only, showing one way the rule may be applied (Refer to full rule for application of 1.8 metres separation).~~

14.5.2.8 Minimum setback for balconies and living space windows from internal boundaries

- a. ~~The minimum setback from an internal boundary for balconies shall be 4 metres.~~
- b. ~~Where a wall of a residential unit is located between 1 metre and 4 metres from an internal boundary, any living space window located on this wall at first floor level and above shall only contain glazing that is permanently obscured.~~
- c. ~~For a retirement village, this rule only applies to the internal boundaries of the site of the entire retirement village.~~
- d. ~~This rule shall not apply to a window at an angle of 90 degrees or greater to the boundary.~~
- e. ~~For the purposes of this rule, permanently obscured glazing does not include glazing obscured by applied means such as film or paint.~~

Advice note:

1. ~~See sill height in the definition of window.~~

14.5.2.9 Road boundary building setback

- a. ~~The minimum road boundary garage and building setback shall be:~~

	Building type and situations	Standard
i.	For all buildings and situations not listed below	2 metres
ii.	Where a garage has a vehicle door that does not tilt or swing outwards facing a road	4.5 metres
iii.	Where a garage has a vehicle door that tilts or swings outward facing a road	5.5 metres
iv.	Where a garage has a vehicle door that does not tilt or swing outward facing a shared access way	7 metres measured from the garage door to the furthest formed edge of the adjacent shared access .
v.	Where a garage has a vehicle door that tilts or swings outward facing a shared access way	8 metres measured from the garage door the furthest formed edge of the adjacent shared access .

b. Habitable space front façade

- i. For **residential units** fronting **roads**, **garages**, and other **accessory buildings** (excluding basement **parking area** and swimming pools) shall be located at least 1.2 metres further from the **road boundary** than the front façade of any ground level **habitable space** of that **residential unit**.
- ii. These **setback** distances apply where **garage** doors do not tilt or swing outwards.

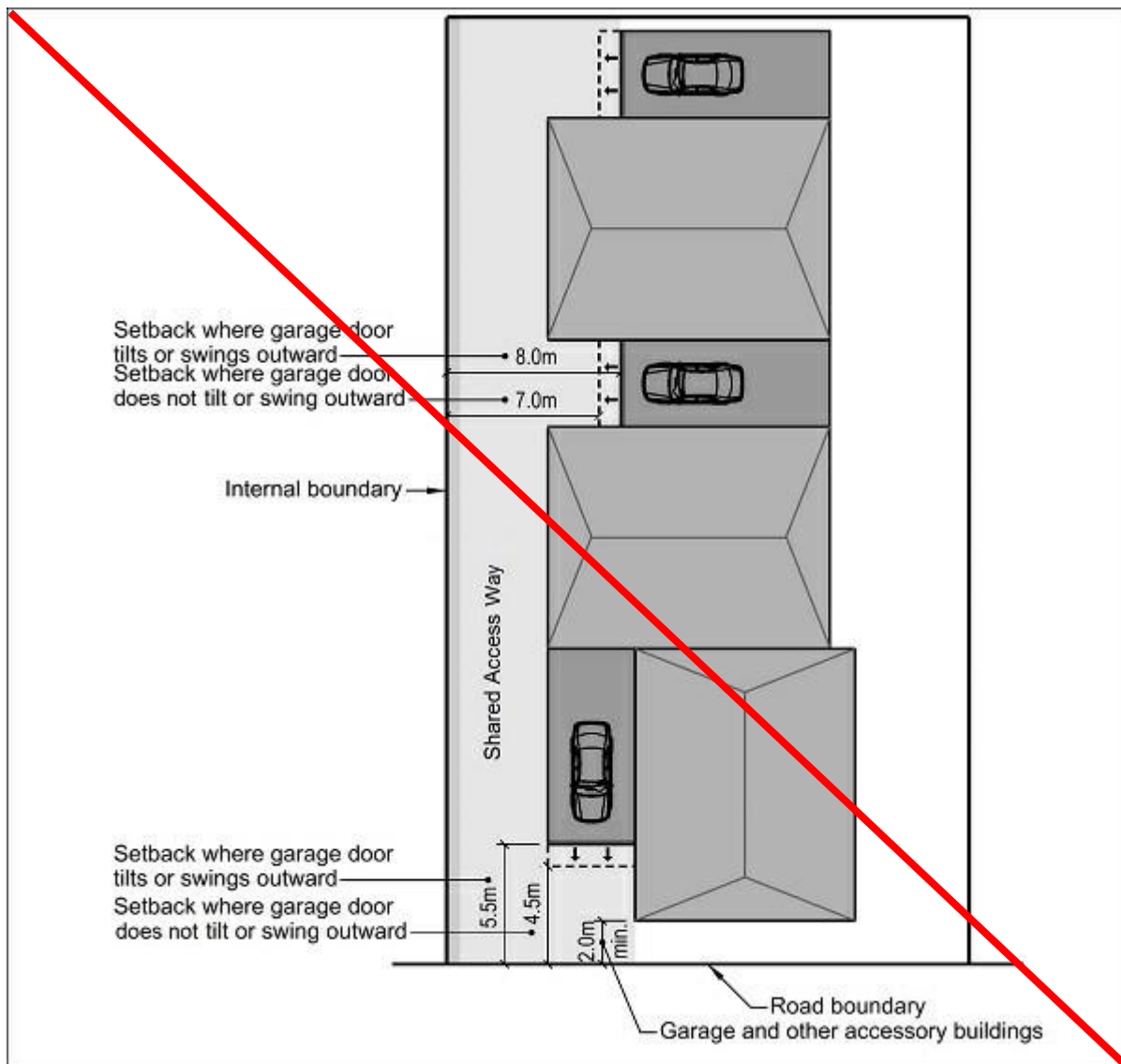


Figure 7: Street scene and ~~access ways~~

Advice note:

1. ~~This diagram is an illustrative example only, showing one way the rule may be applied in the Residential Medium Density Zone.~~

14.5.2.8 Outlook space per unit

- a. An outlook space must be provided for each residential unit as specified in this clause.
- b. An outlook space must be provided from habitable room windows as shown in the diagram (Figure 2) below:

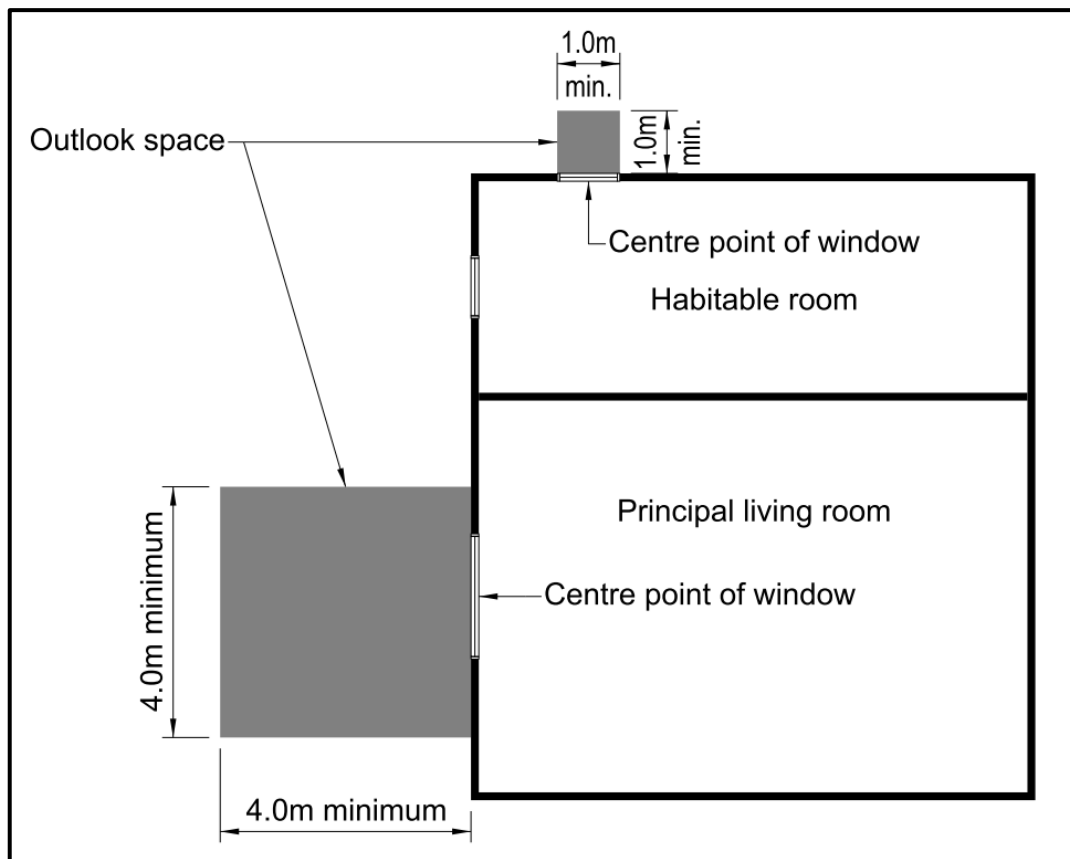


Figure 2: Outlook space

- c. The minimum dimensions for a required outlook space are as follows:
 - i. a principal living room must have an outlook space with a minimum dimension of 4 metres in depth and 4 metres in width; and
 - ii. all other habitable rooms must have an outlook space with a minimum dimension of 1 metre in depth and 1 metre in width.
- d. The width of the outlook space is measured from the centre point of the largest window on the building face to which it applies.
- e. Outlook spaces may be over driveways and footpaths within the site or over a public street or other public open space.
- f. Outlook spaces may overlap where they are on the same wall plane in the case of a multi-storey building.
- g. Outlook spaces may be under or over a balcony.
- h. Outlook spaces required from different rooms within the same building may overlap.
- i. Outlook spaces must—
 - i. be clear and unobstructed by buildings (excluding any doors opening into an outlook space from the principal living room); and
 - ii. not extend over an outlook space or outdoor living space required by another dwelling.

- i.** From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the standards in 14.5.2.8.i.i. 'excluding any doors opening into an outlook space from the principal living room' shall not apply.

14.5.2.109 Street scene amenity and safety - fences

- a. Any fencing provided shall meet the following standards, being the maximum permitted height:

	<u>Fence location</u>	<u>Fence height standard</u>
<u>i.</u>	<u>Road boundary – non-arterial road</u>	<u>50% road boundary width (excluding accessways)</u> <u>1.5m</u> <u>Remaining road boundary width 1.0m</u>
<u>ii.</u>	<u>Road boundary – arterial road</u>	<u>50% road boundary width (excluding accessways)</u> <u>1.8m</u> <u>Remaining road boundary width 1.0m</u>
<u>iii.</u>	<u>Side, rear, and internal boundary.</u>	<u>2.0m</u>

- b. Any fencing requirements under 14.5.2.1 shall not be in addition to the above standards.

- c. Advice note:

- i. Additional controls on fence height and/or location may apply – refer Chapter 6.6 (Water Body Setbacks) and Chapter 7 (Transport).

- ~~a. The maximum height of any fence in the setback from a road boundary on a local road shall be:~~

	<u>Fence type</u>	<u>Standard</u>
<u>i.</u>	<u>Where at least 50% of the fence structure is visually transparent.</u>	<u>1.8 metres</u>
<u>ii.</u>	<u>Where less than 50% of the fence structure is visually transparent.</u>	<u>1 metre</u>

- ~~b. The maximum height of any fence in the setback from a road boundary on any collector road, or arterial road shall be 1.8 metres.~~

- ~~c. a. and b. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential; or residential and commercial or industrial.~~

- ~~d. For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.~~

- ~~e. Parking areas shall be separated from road boundaries, open space, or adjoining residentially zoned sites by fencing that meets the requirements in a. above.~~

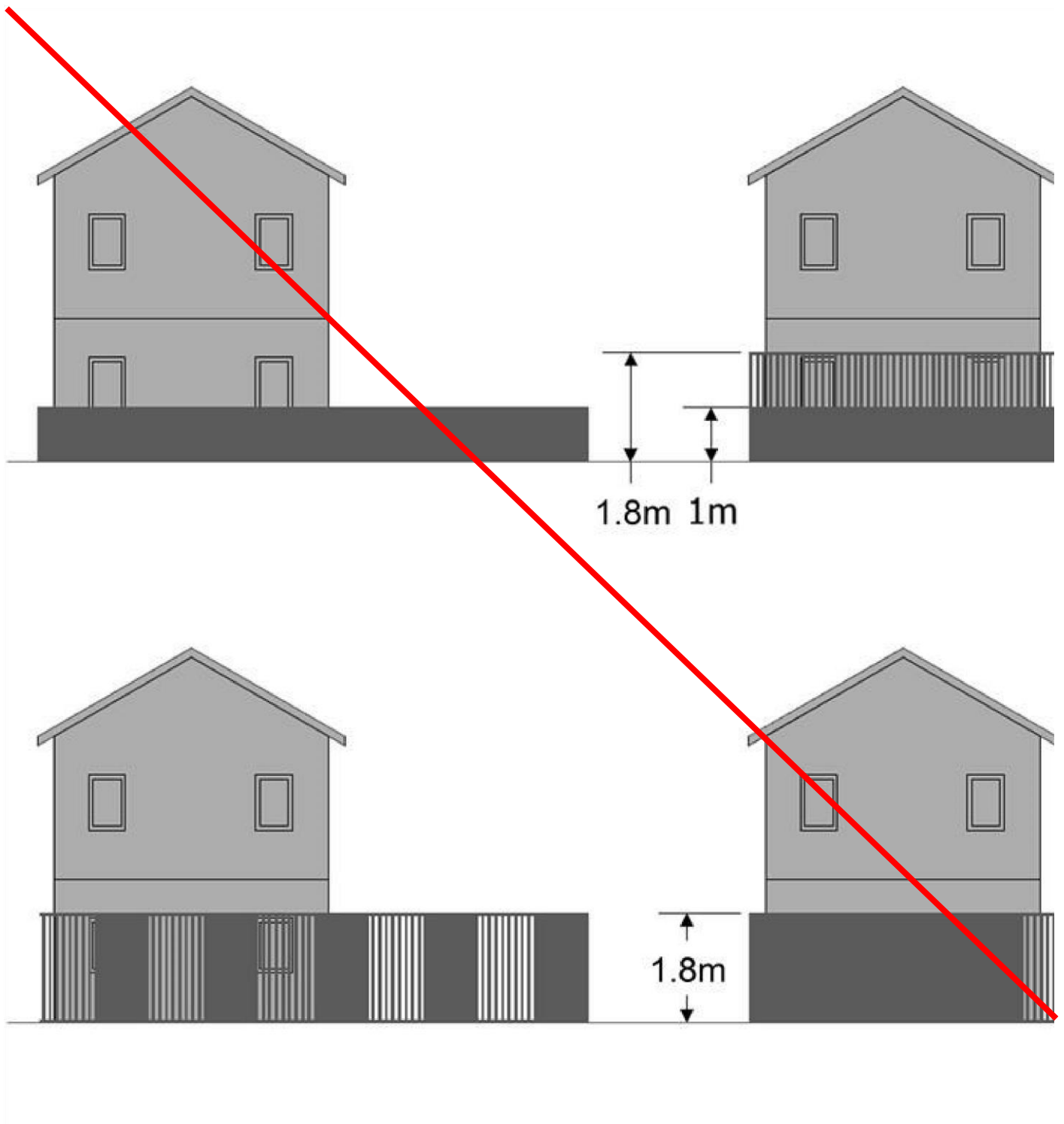


Figure 8: Examples of acceptable fencing and screening structures

14.5.2.10 Windows to street

- a. **Any residential unit facing the street must have a minimum of 20% of the street-facing façade in glazing. This can be in the form of windows or doors.**

- b. For the purpose of this rule, the area of a single gable facing the street shall not be included in the calculation of the street facing façade, with the area of the gable as per the below diagram Figure 3 below, where the internal ceiling height is from the highest room:

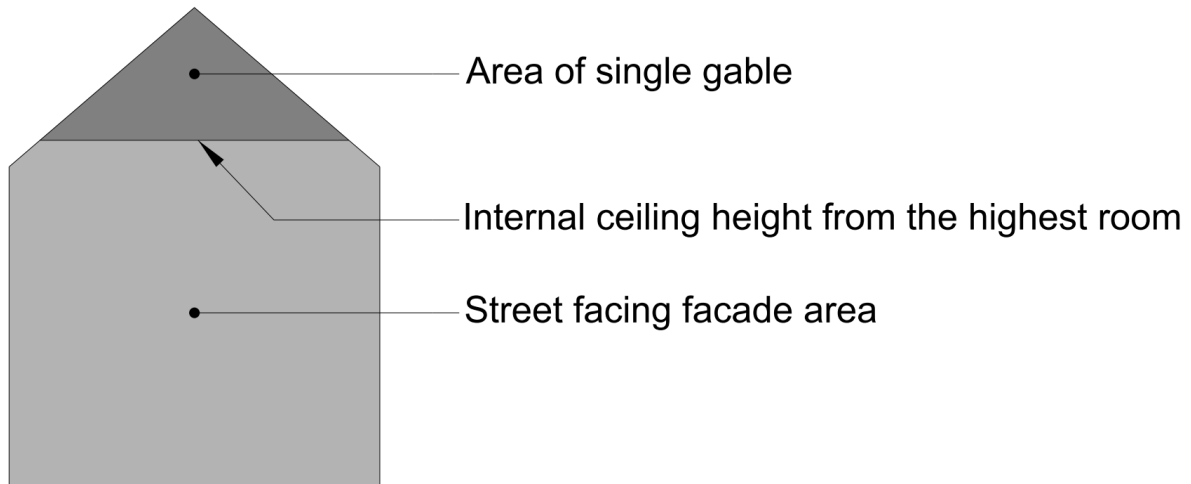


Figure 3: How to measure street facing gable

- c. Where units have a hinged front door facing the street with direct access to a habitable room, the door may be counted toward the glazing requirement under a., up to a maximum of 2m², regardless of whether it is glazed or not. The total required glazing for the street-facing façade of that residential unit may be further reduced to 17.5% (inclusive of the door area) provided that:
- i. there is at least 1m² of ground floor clear glazing from habitable rooms, in addition to the hinged front door;
 - ii. the sill height of the glazing in (i) is no more than 1.2 metres above interior floor level; and
 - iii. at least 20% of the ground floor of street-facing residential units consist of glazing (inclusive of a hinged the front door as described above).
- d. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, only the standards in 14.5.2.10.a shall apply.

14.5.2.11 Building overhangs

- a. ~~No internal floor area located above ground floor level shall project more than 800mm horizontally beyond the gross floor area at ground level.~~

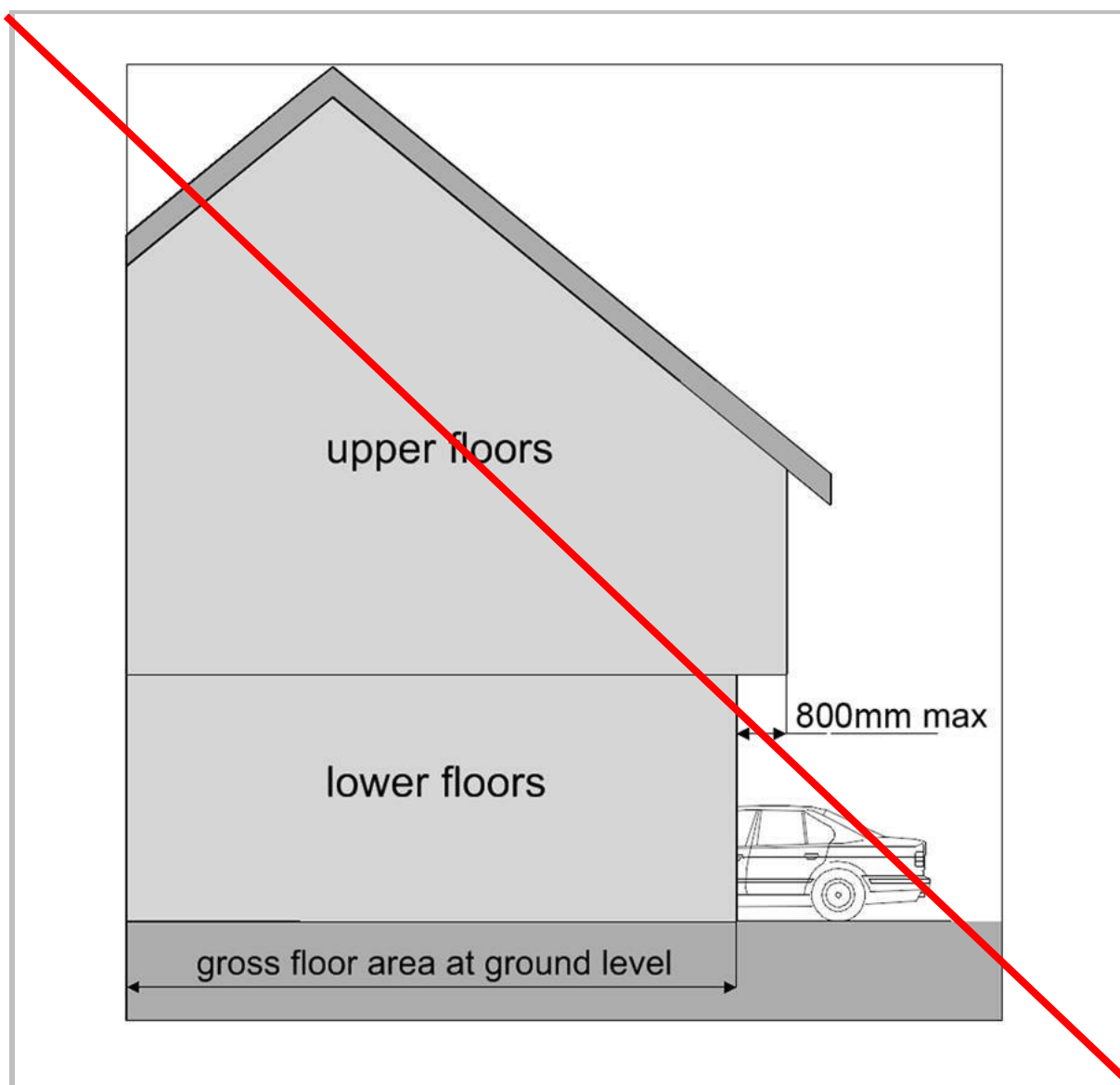


Figure 9: Building overhangs

Advice note:

1. This diagram is an illustrative example only, showing a way the rule may be applied.

14.5.2.12 Minimum unit size

- a. The minimum **net floor area** (including toilets and bathrooms, but excluding **parking areas, garages or balconies**) for any **residential unit** shall be:

	Number of bedrooms	Standard
i.	Studio	35m ²
ii.	1 bedroom	45m ²
iii.	2 bedrooms	60m ²

	Number of bedrooms	Standard
iv.	3 or more bedrooms	90m ²

- b. ~~This rule does not apply to residential units in a retirement village.~~

14.5.2.13 Ground floor habitable ~~space~~ room

- a. ~~Where the permitted height is 11 metres or less (refer to Rule 14.5.2.3)~~ Any building that includes a residential unit shall:
- where the residential unit fronts a road or public open space, unless built over a separate ground floor residential unit, have a habitable room located at the ground floor level with minimum internal dimension of 3 metres; and
 - any residential unit shall have at least 50% of any ground floor area as habitable rooms.
 - ~~any residential unit fronting a road or public open space shall have a habitable space located at the ground level; and~~
 - ~~at least 50% of all residential units within a development shall have a habitable space located at the ground level; and~~
 - ~~for each residential unit, at least one habitable space located at the ground level shall have a minimum floor area of 9m² and a minimum internal dimension of 3 metres and be internally accessible to the rest of the unit.~~
- b. Where the permitted height limit is over 11 metres (refer to Rule 14.5.2.3), a minimum of 50% of the ground floor area shall be occupied by habitable spaces and/or indoor communal living space. This area may include pedestrian access to lifts, stairs and foyers.
- c. This rule does not apply to residential units in a retirement village.

14.5.2.14 Service, storage, and waste management spaces

- a. ~~For multi-unit residential complexes and social housing complexes~~ any development resulting in four or more residential units on a site only:
- each residential unit shall be provided with at least 2.25m² with a minimum dimension of 1.25 metres of outdoor or indoor space at ground floor level for the dedicated storage of waste and recycling bins, and where located between a residential unit and the road boundary or access (pedestrian or vehicle) bins shall be screened by a solid fence with a minimum height of 1.2 metres;
 - each residential unit shall ~~be provided with~~ have at least 3m² ~~with a minimum dimension of 1.5 metres~~ of dedicated outdoor space at ground floor level for washing lines. This space shall have a minimum dimension of 1.5 metres; and
 - the required spaces in ~~a i~~ and/or ~~b ii~~ for each residential unit shall be provided either individually, or within a dedicated shared communal space. Any communal area shall be at least the sum total of the space required under (i) and (ii) for each residential unit.

- b. Each residential unit shall have covered and secure storage areas (in addition to storage in kitchens, bathrooms, bedrooms, and garages) with a minimum dimension of 600mm, and with a total cumulative volume of:
- i. 6m³ for one-bed units;
 - ii. 8m³ for two-bedroom units; or
 - iii. 10m³ for three-bedroom or greater units;
- with at least 50% of storage provided within the unit.

14.5.2.15 Water supply for fire fighting

- a. Sufficient water supply and access to water supplies for fire fighting shall be made available to all **residential units** via **Council's** urban fully reticulated system and in accordance with the **New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008)**.
- b. Where a reticulated water supply compliant with SNZ PAS:4509:2008 is not available, water supply and access to water supplies for fire fighting that is in compliance with the alternative firefighting water sources provisions of SNZ PAS 4509:2008 must be provided.

14.5.2.16 Garaging and carport building location

- a. When developing four or more residential units on a single site, any garage or carport shall be located at least 1.2 metres behind the front façade of a residential unit.

14.5.2.17 Building reflectivity

- a. Within the Residential Hills Precinct, all roof finishes are not to exceed 30% light reflectance value (LRV).

14.5.2.18 Location of outdoor mechanical ventilation

- a. Outdoor heat pump units, or other similar mechanical ventilation units, located at ground level shall not be located within 3 metres from the boundary between a residential site and a road or shared accessway (including a proposed accessway).

14.5.3 Area-specific rules - ~~Residential~~ Medium Density Residential Zone

- a. The following rules apply to the areas specified. All activities are also subject to Rules **14.5.1** and **14.5.2** unless specified otherwise.

14.5.3.1 Area-specific activities

14.5.3.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities if they meet the activity specific standards set out in this table; and the built form standards in Rule **14.5.2** unless specified otherwise in Rule **14.5.3.2**.
- b. Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited as specified in Rules **14.5.1.2**, **14.5.1.3**, **14.5.1.4**, **14.5.1.5**, and **14.5.1.6** (unless specified otherwise in area specific rules); and Rules **14.5.3.1.2**, **14.5.3.1.3**, **14.5.3.1.4**, **14.5.3.1.5** or **14.5.3.1.6**.

Activity/area	Activity specific standards
<p>P1 a. The following activities in the Accommodation and Community Facilities Overlay:</p> <ul style="list-style-type: none"> i. Preschools; ii. Health care facility; iii. Veterinary care facility; iv. Education activity; v. Place of assembly vi. Spiritual activities; vii. Community corrections facilities; viii. Community welfare facilities; ix. Care facility. 	<p>a. The activity specific standards in Rule 14.5.1.1 do not apply.</p> <p>b. The facility or activity shall:</p> <ul style="list-style-type: none"> i. comprise less than 500m² gross leasable floor space; and ii. limit the hours of operation when the site is open to visitors, students, patients, clients, and deliveries to between the hours of 07:00-21:00 Monday to Sunday.
<p>P2 Guest <u>Visitor accommodation</u> in the Accommodation and Community Facilities Overlay in the Accommodation and Community Facilities Overlay including ancillary office, meeting and conference facilities, fitness facilities and provision of goods and services primarily for the convenience of guests.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	<p>Nil</p> <ul style="list-style-type: none"> a. The maximum size of all ancillary activities shall not exceed 25% of the GFA of all buildings on the same site. b. No individual types of ancillary activity shall be more than 250m² GLFA.
<p>P3 Retirement villages in the Accommodation and Community Facilities Overlay</p>	<p>a. The activity shall achieve the following built form standards as follows:</p> <ul style="list-style-type: none"> i. 14.5.2.3 Building height ii. 14.5.2.4 Site coverage iii. 14.5.2.6 Daylight recession planes iv. 14.5.2.7 Minimum building setbacks from internal boundaries v. 14.5.2.9 Road boundary building setback vi. 14.5.2.15 Water supply for fire fighting

Activity/area	Activity specific standards
	<p>b. Building façade length – there must be a recess in the façade of a building where it faces a side or rear boundary from the point at which a building exceeds a length of 16 metres. The recess must:</p> <ul style="list-style-type: none"> i. be at least 1 metre in depth, for a length of at least 2 metres; ii. be for the full height of the wall; and iii. include a break in the eave line and roof line of the façade.
<p>P4 <u>Within any Character Area Overlay, the interior conversion of an existing residential unit into two residential units.</u></p>	<p><u>Nil</u></p>
<p>P5 <u>Within the Lyttelton Character Area Overlay, minor residential unit, where the minor unit is a detached building and the existing site it is to be built on contains only one residential unit.</u></p>	<ul style="list-style-type: none"> a. <u>The existing site containing both units shall have a minimum net site area of 450m².</u> b. <u>The minor residential unit shall have a minimum gross floor area of 35m² and a maximum gross floor area 80m².</u> c. <u>The parking areas of both units shall be accessed from the same access.</u> d. <u>There shall be a total outdoor living space on the existing site (containing both units) with a minimum area of 90m² and a minimum dimension of 5 metres. This total space can be provided as:</u> <ul style="list-style-type: none"> i. <u>a single continuous area; or</u> ii. <u>be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area, with a minimum dimension of 5m.</u> <p><u>Advice note:</u> <u>For minor residential units within the Lyttelton Port Influences Overlay refer to area specific Rule 14.8.3.</u></p>
<p>P6 a. <u>Minor residential unit in the Lyttelton Residential Heritage Area where the minor unit is a detached building and the existing site it is to be built on contains only one residential unit.</u></p>	<ul style="list-style-type: none"> a. <u>The existing site containing both units shall have a minimum net site area of 450m².</u> b. <u>The minor residential unit shall have a minimum gross floor area of 35m² and a maximum gross floor area of 80m².</u> c. <u>The parking areas of both units shall be accessed from the same access.</u> d. <u>There shall be a total outdoor living space on the existing site (containing both units) with a minimum</u>

Activity/area	Activity specific standards
	<p><u>area of 90m² and a minimum dimension of 5 metres.</u> <u>This total space can be provided as:</u></p> <ul style="list-style-type: none"> i. <u>a single continuous area; or</u> ii. <u>be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area with a minimum dimension of 5 metres.</u> <p><u>Advice note:</u> <u>1. For minor residential units within the Lyttelton Port Influences Overlay refer to area specific Rule 14.8.3.</u> <u>e.</u></p>

14.5.3.1.2 Area-specific controlled activities

- a. The activities listed below are controlled activities.
- b. Discretion to impose conditions is restricted to the matters over which control is reserved in [Rule 14.15](#), as set out in the following table.

	Location	Controlled activity	The matters over which Council reserves its control:
C1	Character Area Overlay	<p>a. The relocation of a building onto the site, erection of new buildings and alterations or additions to existing buildings, accessory buildings, fences and walls associated with that development, where it is:</p> <ul style="list-style-type: none"> i. visible from the street; ii. located in that part of the site between the road boundary and the main residential unit on the site; or iii. involves changes to the front façade of the main residential unit of the site. <p>b. This rule does not apply to:</p> <ul style="list-style-type: none"> i. fences that are 1 metre in height or less; ii. accessory buildings that are located to the rear of the main residential unit on the site and are less than 5 metres in height; iii. fences that are located on a side or rear boundary of the site, except where that boundary is adjacent to a public open 	<p>a. Character Area Overlay – 14.15.23</p>

Location	Controlled activity	The matters over which Council reserves its control:
	<p>space.</p> <p>a. <u>The erection of new residential unit to the rear of an existing residential unit on the same site, where it is:</u></p> <p>i. <u>less than 5 metres in height; and</u></p> <p>ii. <u>meets the built form standards applicable to the Character Area Overlay within which it is located.</u></p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	

14.5.3.1.3 Area-specific restricted discretionary activities

- The activities listed below are restricted discretionary activities.
- Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rule 14.15](#), or as specified, as set out in the following table:

Activity/area	The Council's discretion shall be limited to the following matters:
RD1 Retail activity with frontage only to public access ways identified in Sumner Master plan Overlay in Appendix 14.16.6	a. Urban design - 15.13.1.a.viii
RD2 <p>a. Activities and buildings that do not meet Rule 14.5.3.2.2 road boundary garage and building setback, for sites with frontage to Bealey Avenue, Fitzgerald Avenue or Deans Avenue (south of Blenheim Road), and within the Sumner Master plan Overlay (Appendix 14.16.6)</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	a. Street scene - road boundary building setback, fencing and planting – Rule 14.15.17
RD3 <p>a. Activities that do not meet Rule 14.5.3.2.1 Area specific development plans, Wigram special RNZAF provisions shown in Figure 6.</p> <p>b. Any application arising from this rule shall not be publicly notified, and may be limited notified only to the New Zealand Defence Force (where the consent authority considers this is required, and absent written approval).</p>	a. Specific setback provisions – Residential Suburban Zone Wigram – Rule 14.15.13
RD4 Development in Areas A, B and C of the Commercial Local Zone / Residential Medium Density Zone in the Commercial Local Zone (St Albans) Outline development plan Chapter 15 Appendix 15.5.5	a. Development plans - Rule 14.15.15
RD5 Activities that do not meet Rule 14.5.3.2.1 – Area specific development plans, Residential Medium Density <u>Residential</u> Higher Height Limit and	a. Development plans - Rule 14.15.15

Activity/area		The Council's discretion shall be limited to the following matters:
	Site Density Overlay at Deans Avenue, and Sumner Master plan Overlay (Appendix 14.16.6)	
RD6	Residential units in the Character Area Overlay that do not meet Rule 14.5.3.2.7 – Site density	a. Character Area Overlay – Rule 14.15.23
RD7	a. Service stations in the Accommodation and Community Facilities Overlay. b. Any application arising from this rule shall not be limited or publicly notified.	a. Scale and nature of activity – Rule 14.15.5 b. Hours of operation – Rule 14.15.21 c. Traffic generation and access safety – Rule 14.15.6 (Plan Change 5D Council Decision)
RD8	Activities in the Accommodation and Community Facilities Overlay listed in Rule 14.5.3.1.1 P1 that do not meet one or more of the activity specific standards in Rule 14.5.3.1.1 P1. (Proposed Plan Change 5D subject to Council Decision)	a. Scale and nature of activity – Rule 14.15.5 b. Hours of operation – Rule 14.15.21 c. Impacts on neighbouring property – Rule 14.15.3 d. Traffic generation and access safety – Rule 14.15.6 (Plan Change 5D Council Decision)
RD9	a. Buildings in the Accommodation and Community Facilities Overlay, and Residential Medium Density Residential Zone in the Commercial Local Zone (St Albans) Outline development plan area that do not meet Rule 14.5.3.2.3 – Building height b. <u>Any application arising from this rule shall not be publicly notified.</u>	a. Impacts on neighbouring property – Rule 14.15.3
RD10	a. Buildings in the Accommodation and Community Facilities Overlay that do not meet Rule 14.5.3.2.4 – Maximum continuous building length. b. Any application arising from this rule shall not be limited or publicly notified.	a. Impacts on neighbouring property – Rule 14.15.3 b. Residential design principles – Rule 14.15.1.c only
RD11	a. Buildings in the Accommodation and Community Facilities Overlay that do not meet Rule 14.5.3.2.5 – Front entrances and facades. b. Any application arising from this rule shall not be limited or publicly notified.	a. Residential design principles – Rule 14.15.1
RD12	a. Activities in the Accommodation and Community Facilities Overlay that do not meet Rule 14.5.3.2.6 – Landscaped areas. b. Any application arising from this rule shall not be limited or publicly notified.	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17

Activity/area		The Council's discretion shall be limited to the following matters:
RD13	<p>Ancillary activities to visitor accommodation listed in Rule 14.5.3.1.1 P2 in the Accommodation and Community Facilities Overlay that do not meet one or more of the activity specific standards in Rule 14.5.3.1.1 P2.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	<p>a. Scale of activity - Rule 14.15.5</p> <p>b. Hours of operation - Rule 14.15.21</p> <p>c. Traffic generation and access safety - Rule 14.15.6</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>
RD14	<p>Within a Character Area Overlay:</p> <p>a. <u>The demolition or removal of a building greater than 30m² on the site, relocation of a building onto the site, erection of new buildings and alterations or additions to existing buildings, accessory buildings, fences and walls associated with that development.</u></p> <p>b. <u>This rule does not apply:</u></p> <ol style="list-style-type: none"> <u>where 14.5.3.1.2 C1 applies.</u> <u>to fences that meet the applicable built form standard 14.5.3.2.12 for that Character Area;</u> <u>to accessory buildings that are less than 30m² and located to the rear of the main residential unit on the site and are less than 5 metres in height;</u> <u>to fences that are located on a side or rear boundary of the site, except where that boundary is adjacent to a public space.</u> <p>c. <u>Activities that do not meet Built Form standard 14.5.3.2.6.</u></p> <p>d. <u>Any application arising from this rule shall not be limited or publicly notified.</u></p>	<p>a. <u>Character Area Overlay - Rule 14.15.23</u></p>
RD15	<p><u>Within the Lyttelton Character Area Overlay, any minor residential unit that does not meet the standards under 14.5.3.1.P5.</u></p>	<p>a. <u>Character Area Overlay - Rule 14.15.23</u></p>
RD16	<p>a. <u>Activities that do not meet one or more of the built form standards for Residential Heritage Areas in Rule 14.5.3.2.</u></p>	<p>a. <u>Matters of Discretion for the applicable built form standards in Rule 14.15.</u></p> <p>b. <u>Matters of Discretion for the Character Area Overlay in Rule 14.15.23, where the site is also located in the Character Area Overlay.</u></p> <p>c. <u>Matters of Discretion for new buildings in Residential Heritage Areas – Rule 9.3.6.4.</u></p>
RD17	<p>a. <u>Activities that do not meet one or more of the Activity Specific Standards in Rule 14.5.3.1.1 P6 for minor residential units in the Lyttelton Residential Heritage Area.</u></p>	<p>a. <u>Matters of Discretion for Minor Residential Units - Rule 14.15.22.</u></p>

Activity/area	The Council's discretion shall be limited to the following matters:
	b. <u>Matters of Discretion for new buildings in Residential Heritage Areas – Rule 9.3.6.4.</u>

14.5.3.1.4 Area-specific discretionary activities

- a. The activity listed below is a discretionary activity.

Activity/area
D1 Retail activity and commercial activity in the Sumner Master plan Overlay that does not have frontage to public access ways identified in the Sumner Master plan Overlay in Appendix 14.16.6

14.5.3.1.5 Area-specific non-complying activities

There are no non-complying activities.

14.5.3.1.6 Area-specific prohibited activities

There are no prohibited activities.

14.5.3.2 Area-specific built form standards

14.5.3.2.1 Area specific development plans

- a. This rule applies to:
- ~~i. Residential Medium Density Higher Height Limit at Deans Avenue;~~
 - ~~ii. Residential Medium Density Zone Wigram shown on Figure 6; and~~
 - ~~iii. Residential Medium Density Zone~~ Medium Density Residential zone in Sumner Master plan Overlay in [Appendix 14.16.6](#).

	Area	Standard
b.	Residential Medium Density Higher Height Limit and Site Density Overlay at Deans Avenue	Sites shall not have access to Deans Avenue other than via the proposed road to be located between 100 metres and 110 metres from the intersection of Moorhouse and Deans Avenue. As shown on Appendix 14.16.3 Development plan Addington.
c.	Residential Medium Density Zone Wigram shown on Figure 6	Residential units shall have their primary outdoor living space facing away from the aerodrome site. Windows to living areas which directly face the RNZAF Bequest Land shall be doubled glazed. In addition, a 2 metre wide landscape strip and a close, solid and continuous 1.8 metre high fence shall be placed along the boundary of the RNZAF Bequest Land and be completed before any residential units are built.

	Area	Standard
da.	Sumner Master plan Overlay (Appendix 14.16.6)	Retail activities and commercial services shall be located along the identified road frontages in accordance with the Sumner Master plan Overlay (Appendix 14.16.6)

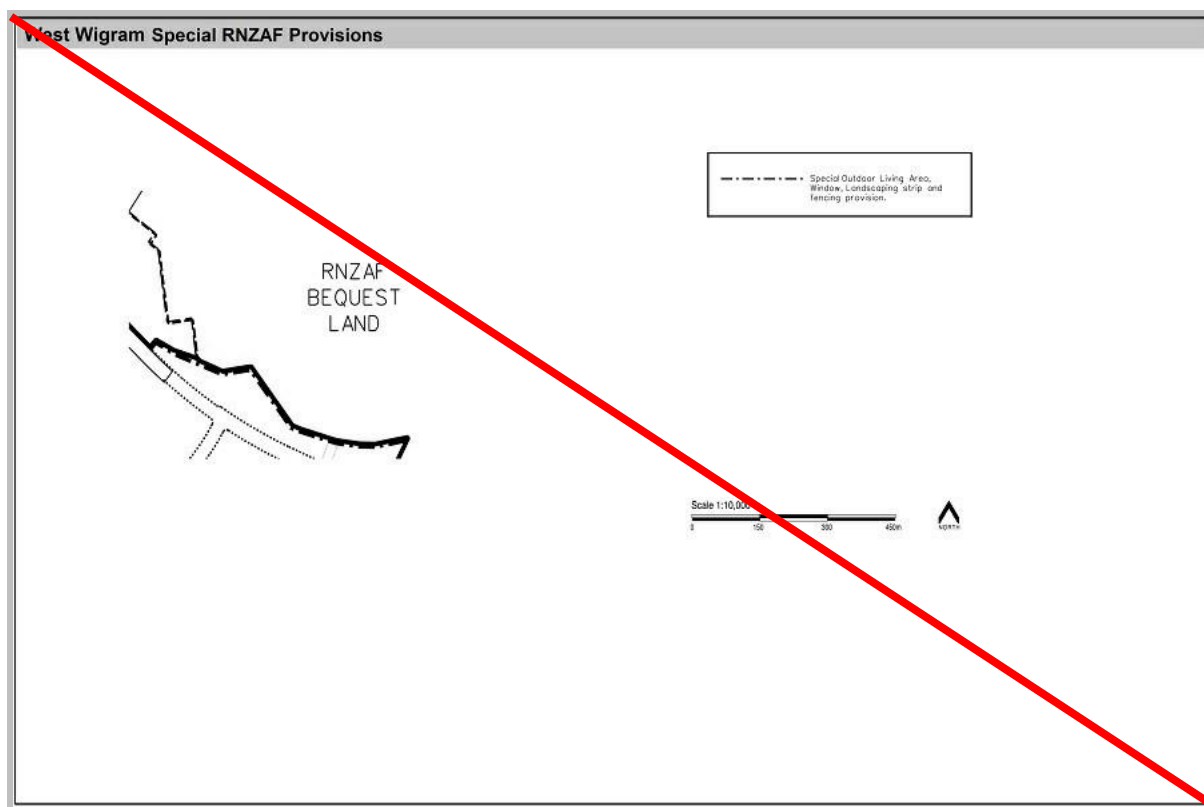


Figure 6: West Wigram Special RNZAF Provisions

14.5.3.2.2 Road boundary garage and building setback

- a. This rule applies to sites with frontage to Bealey Avenue, Fitzgerald Avenue, or Deans Avenue (south of Blenheim Road), and within the Sumner Master plan Overlay (Appendix 14.16.6).
- b. Rule 14.5.2.9 Road boundary garage and building setback shall not apply on the above sites.
 - i. For sites with frontage to Bealey Avenue, Fitzgerald Avenue, or Deans Avenue (south of Blenheim Road), the road boundary setback shall be 6 metres.
 - ii. Sumner Master plan Overlay, shown in Appendix 14.16.6; for retail activities and commercial services with road frontage buildings; buildings shall:
 - A. be built up to the road frontage with buildings occupying all frontage not needed for vehicle access to the rear of the site;

- B. provide a minimum of 60% and a maximum of 90% visually transparent glazing at the ground floor and a minimum of 20% and a maximum of 90% visually transparent glazing at each floor above the ground floor;
 - C. provide pedestrian **access** directly from the **road boundary**; and
 - D. provide veranda or other means of weather protection along the full width of the **building** where it has frontage to a **road**.
- c. Sumner Master plan Overlay, shown in [Appendix 14.16.6](#); for **retail activity** and **commercial services** with frontage only to public **access ways**; **buildings** shall:
- i. occupy the full public **access way frontage** of the **site**;
 - ii. provide a minimum of 60% and a maximum of 90% of visually transparent glazing at the ground floor and a minimum of 20% and a maximum of 90% visually transparent glazing at each floor above the ground floor; and
 - iii. provide pedestrian **access** directly from the public **access way**.

14.5.3.2.3 Building height

- a. This applies to:
- i. ~~Residential~~ Medium Density **Residential** Zone in the Commercial Local Zone (St Albans) Outline development plan shown as Area A in Chapter 15 [Appendix 15.15.5](#); and
 - ii. Accommodation and Community Facilities Overlay.
- b. The maximum **height** of any **building** shall be:

	Area	Standard
i.	Residential Medium Density Residential Zone in the Commercial Local Zone (St Albans) Outline development plan shown as Area A in Chapter 15 Appendix 15.5.5 for all buildings	<p>A. 14 metres</p> <p>B. Rule 14.5.2.3 Building height and maximum number of storeys shall not apply within the above area.</p>
ii.	Accommodation and Community Facilities Overlay	<p>A. 11 metres, or</p> <p>B. 12 metres for that part of the building where a pitched roof of at least 22 degrees is provided.</p>
iii.	<u>Heaton, Beverley, Cashmere and Lyttelton Character Areas</u>	<p>A. <u>7 metres;</u></p> <p>B. <u>except that 50% of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 2 metre, where the entire roof slopes 15° or more; and</u></p>

	Area	Standard
		C. <u>except that within the Lyttelton Character Area, any accessory building must not exceed 5 metres in height</u>
iv.	<u>Englefield, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham, Therese, Piko and Evesham/Bewdley Character Areas</u>	<u>5.5 metres</u>
v.	<p><u>In Residential Heritage Areas the maximum height of any building shall be:</u></p> <p>A. <u>In Heaton Street, Wayside Avenue, RNZAF Station Wigram Staff Housing and Macmillan Avenue Residential Heritage Areas</u></p> <p>B. <u>In Church Property Trustees North St Albans Subdivision (1923) and Piko/Shand (Riccarton Block) State Housing Residential Heritage Areas</u></p> <p>C. <u>In Shelley/Forbes Street and Englefield Avonville Residential Heritage Areas Side boundary.</u></p> <p>D. <u>In Lyttelton Residential Heritage Area</u></p> <p>I. <u>Buildings except accessory buildings</u></p> <p>II. <u>Accessory buildings</u></p> <p>E. <u>In Chester Street East/Dawson Street and Inner City West Residential Heritage Areas</u></p>	<p><u>7 metres, plus 2 metres for roof form</u></p> <p><u>5.5 metres</u></p> <p><u>5 metres</u></p> <p><u>7 metres, plus 2 metres for roof form</u></p> <p><u>5 metres</u></p> <p><u>11 metres</u></p>

14.5.3.2.4 Maximum continuous building length

- a. Within the Accommodation and Community Facilities Overlay and in association with the following activities:

		Standards
i.	Guest Visitor accommodation; and a (Plan Change 4 Council Decision subject to appeal) (Plan Change 4 Council Decision subject to appeal)	<p>A. For new buildings the maximum length of a building elevation shall not exceed 15 metres (see Figure 10)</p> <p>B. For existing buildings any addition to the building elevation shall not exceed a length of 10 metres</p>
ii.	Community facility;	
iii.	Preschool;	
iv.	Education facility;	
v.	Health care facility;	
vi.	Place of assembly; and	
vii.	Veterinary care facility.	

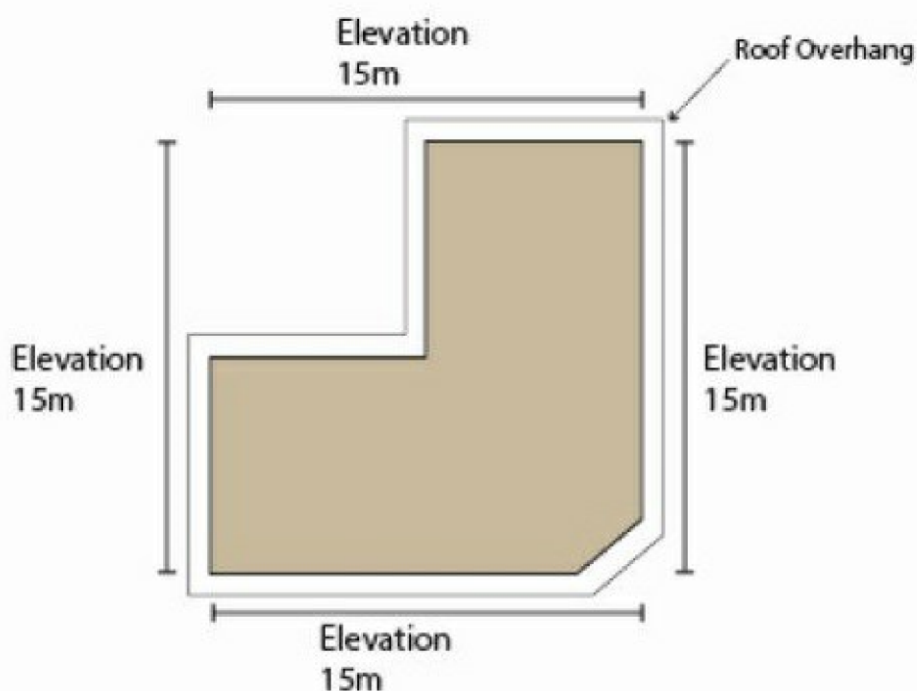


Figure 10: Measurement of a building elevation

14.5.3.2.5 Front entrances and façades

- a. Within the Accommodation and Community Facilities Overlay the following front entrance and façade treatment shall be provided for:

	Buidings associated with:	Standards
i.	Guest <u>Visitor accommodation</u> ; and a (Plan Change 4 Council Decision subject to appeal)	<p>A. Pedestrian <u>access</u> shall be directly from the <u>road frontage</u>.</p> <p>B. A minimum of 30% glazing on the road frontage on ground floor.</p> <p>C. A minimum of 20% glazing on the road frontage on elevations above ground level.</p>
ii.	<u>Community facility</u> ;	
iii.	<u>Preschool</u> ;	
iv.	<u>Education facility</u> ;	
v.	<u>Health care facility</u> ;	
vi.	<u>Place of assembly</u> ; and	
vii.	<u>Veterinary care facility</u> .	

- b. Within the Heaton, Beverley, Englefield, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham, Roker, Piko and Bewdley Character Areas:
- i. any residential unit shall be built across a minimum of 60% of the width of an allotment, where it abuts a round boundary.
- c. Within the Cashmere Character Area:
- i. the minimum dimension of the building frontage to the street, exluding any garage, shall be 8 metres.
- d. Within the Heaton, Beverley, Englefield, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham, Roker, Piko, Cashmere, Bewdley and Lyttelton Character Areas:
- i. the maximum paved access width per site is 3.6 metres, or;
- ii. 4.8 metres, where it includes a pedestrian access with a minimum width of 1.2 meteres.

14.5.3.2.6 Landscaped areas for select areas

- a. Planting shall be provided as follows:
- i. Within the Accommodation and Community Facilities Overlay for non-residential activities:
- A. In areas areas adjoining the road frontage of all sites:

- I. a minimum density of 1 tree per every 10 metres of **road frontage** or part thereof, distributed across the **frontage**; and
 - II. a minimum 2 metre planted strip.
- B. On **sites adjoining** residential and open space zones, trees shall be planted adjacent to the shared **boundary** at a ratio of at least 1 tree for every 10 metres of the **boundary** or part thereof, with the trees evenly spaced along that **boundary**.
- ii. Within the Character Area Overlay for all activities:
- ~~A. A landscape strip of a minimum width of 2 metres comprising a combination of tree and garden planting shall be planted along the length of the **road boundary**, excluding that part required for a driveway or pedestrian **access**.~~
 - A. A residential unit at ground floor level must have a landscaped area of a minimum of 20% of a developed site with tree and garden planting.
 - B. A landscape strip with a minimum width of 2 metres shall be planted along the rear boundary, and shall include trees that will grow to a minimum height of 6–8 metres.
 - C. In addition to A and B above:
 1. Within the Heaton Character Area, a minimum of 3 specimen trees of 8-12 meters in height shall be planted within front setback and a landscape strip, with a minimum width of 3 metres, shall be planted along the length of the road boundary excluding that part required for a driveway or pedestrian access.
 2. Within the Beverley and Englefield Character Areas, a landscape strip, comprising a combination of tree and garden planting, and with a minimum width of 2 metres, shall be planted along the length of the road boundary excluding that part required for a driveway or pedestrian access.
 3. Within the Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Roker, Dudley, Beckenham, Piko and Cashmere Character Areas, a landscape strip, comprising a combination of tree and garden planting, and with a minimum width of 3 metres, shall be planted along the length of the road boundary excluding that part required for a driveway or pedestrian access.
 4. Within the Bewdley and Lyttelton Character Areas, a landscape strip of a minimum width of 3 metres, shall be located along the length of the road boundary excluding that part required for a driveway or pedestrian access.

~~14.5.3.2.7 Site density~~

- ~~a. Within the Character Area Overlay each **residential unit** shall be contained within its own separate **site** and the **site** shall have a minimum **net site area** as follows:~~

	Area	Standard
i.	Residential Medium Density Zone within the Character Area Overlay	400m ²
ii.	Character Area Overlay – Character Area 8 – Beverley	500m ²

14.5.3.2.7 Number of residential units per site

- a. Within the Character Area Overlay, there must be no more than 2 residential units per site;
- i. except that within the Lyttelton Character Area, there must be no more than one residential unit per site and one minor residential unit.
- b. In Residential Heritage Areas there must be no more than 2 residential units per site, except that within the Lyttelton Residential Heritage Area there must be no more than one residential unit per site and no more than one minor residential unit per site.

14.5.3.2.8 Setbacks

- a. Within Character Area Overlays, buildings must be set back from the relevant boundary by the minimum depth listed in the table below, except as per b. and c below:

	Setback	Area and setback distance
i.	Front	<p>A. <u>Within the Heaton, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham, Therese and Piko Character Areas:</u></p> <ol style="list-style-type: none"> <u>8 metres,</u> <u>except that where any existing dwelling unit on the site was built prior to 1945 and is to be relocated within the site, it can be located 6m from the front boundary.</u> <p>B. <u>Within the Beverley Character Area:</u></p> <ol style="list-style-type: none"> <u>3 metres, where the front setback is on the north side of the street, or;</u> <u>7 metres, where the front setback is on the south side of the street.</u> <p>C. <u>Within the Englefield Character Area:</u></p> <ol style="list-style-type: none"> <u>3 metres, but with a maximum of 5m.</u> <p>D. <u>Within the Cashmere Character Area:</u></p> <ol style="list-style-type: none"> <u>5 metres.</u> <p>E. <u>Within the Evesham/Bewdley Character Area:</u></p> <ol style="list-style-type: none"> <u>6 metres</u> <p>F. <u>Within the Lyttelton Character Area:</u></p> <ol style="list-style-type: none"> <u>3 metres</u>
ii.	Side	<p>G. <u>Within the Heaton Character Area:</u></p> <ol style="list-style-type: none"> <u>3 metres.</u> <p>H. <u>Within the Beverley, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham and Piko Character Areas:</u></p> <ol style="list-style-type: none"> <u>2 metres on one side and 3 metres on the other.</u> <p>I. <u>Within the Englefield, Bewdley and Roker Character Areas:</u></p> <ol style="list-style-type: none"> <u>1 metre on one side and 3 metres on the other.</u> <p>J. <u>Within the Cashmere Character Area:</u></p> <ol style="list-style-type: none"> <u>3 metres.</u> <p>K. <u>Within the Lyttelton Character Area:</u></p>

		1. <u>1.5 metres on one side and 3 metres on the other.</u>
iii.	<u>Rear</u>	<p>L. <u>Within the Heaton, Beverley, Englefield, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham, Bewdley, Roker and Piko Character Areas</u></p> <p>1. <u>3 metres.</u></p> <p>M. <u>Within the Lyttelton Character Area:</u></p> <p>1. <u>2 metres.</u></p>
iv.	<u>Accessory buildings</u>	N. <u>In relation to side and rear boundaries only, where the total length of the accessory building does not exceed 10m: Nil</u>
v.	<u>Eaves and roof overhangs</u>	O. <u>Up to 300mm in width and guttering up to 200mm in width from the wall of a building may protrude into the front setback</u>

b. Within Residential Heritage Areas, the minimum road boundary building setback shall be:

i.	<u>In Heaton Street, Wayside Avenue, RNZAF Station Wigram Staff Housing, Church Property Trustees North St Albans Subdivision (1923) and Piko/Shand (Riccanton Block) State Housing Residential Heritage Areas</u>	<p><u>6 metres, where existing house is relocated forward on the site</u></p> <p><u>8 metres, where existing house not retained</u></p>
ii.	<u>In Shelley/Forbes Street, Englefield Avonville, Chester Street East/Dawson Street, and Inner City West Residential Heritage Areas</u>	<u>Minimum: 3 metres;</u> <u>Maximum: 5 metres.</u>
iii.	<u>In Lyttelton Residential Heritage Area</u>	<u>Minimum: 3 metres;</u>
iv.	<u>In Macmillan Avenue Residential Heritage Area</u>	<u>5 metres</u>
v.	<u>In Chester Street East/Dawson Street and Inner City West Residential Heritage Areas</u>	<u>2 metres</u>

c. In Residential Heritage Areas the minimum building setback from internal boundaries shall be:

i.	<u>In Heaton Street, Wayside Avenue and RNZAF Station Wigram Staff Housing Residential Heritage Areas</u>	<u>3 metres</u>
ii.	<p><u>In Church Property Trustees North St Albans Subdivision (1923) and Piko/Shand (Riccanton Block) State Housing Residential Heritage Areas</u></p> <p><u>Side <u>boundary</u></u></p> <p><u>Rear <u>boundary</u></u></p>	<p><u>2 metres and 3 metres</u></p> <p><u>3 metres</u></p>

iii.	<u>In Shelley/Forbes Street, Englefield Avonville, and Chester Street East/Dawson, and Inner City West Residential Heritage Areas:</u> <u>Side boundary</u> <u>Rear boundary</u>	<u>1 metres and 3 metres</u> <u>3 metres</u>
iv.	<u>In Lyttelton Residential Heritage Area</u> <u>Side boundary</u> <u>Rear boundary</u>	<u>1.5 metres and 3 metres</u> <u>2 metres</u>
v.	<u>In Macmillan Avenue Residential Heritage Area</u> <u>Side boundary</u> <u>Rear boundary</u>	<u>3 metres</u> <u>3 metres</u>
vi.	<u>In Chester Street East/Dawson Street and Inner City West Residential Heritage Areas</u>	<u>2 metres</u>

14.5.3.2.9 Building coverage

- a. Except in the Lyttelton Character Area and Englefield Character Area, the maximum building coverage must not exceed 35% of the net site area, except that eaves and roof overhangs up to 300mm in width and guttering up to 200mm in width from the wall of a building shall not be included in the site coverage calculation.
- b. Within the Lyttelton Character Area, the maximum building coverage must not exceed 60% of the net site area, except that eaves and roof overhangs up to 600mm in width and guttering up to 200mm in width from the wall of a building shall not be included in the site coverage calculation.
- c. Within the Englefield Character Area, the maximum building coverage must not exceed 35% of the net site area, except that eaves and roof overhangs up to 600mm in width and guttering up to 200mm in width from the wall of a building shall not be included in the site coverage calculation.
- d. In Residential Heritage Areas, the maximum percentage of the **net site area** covered by **buildings** shall be as follows:

i.	<u>In all Residential Heritage Areas, except Lyttelton and Englefield Residential Heritage Area</u>	<u>40%</u>
ii.	<u>In Englefield Residential Heritage Area</u>	<u>35%</u>

iii.	<u>In Lyttelton Residential Heritage Area</u>	<u>60%</u>
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14.5.3.2.10 Outdoor living space per unit

a. Within the Heaton and Beverley Character Areas:

- i. a residential unit at ground floor level must have an outdoor living space that is at least 80 square metres at ground floor level and has no dimension less than 7 metres; and
- ii. a residential unit located above ground floor level must have an outdoor living space in the form of a balcony, patio, or roof terrace, of at least 8 square metres and a minimum dimension of 1.8 metres; and
- iii. any outdoor living space must be:
 - A. accessible from the residential unit;
 - B. located directly adjacent to the unit; and
 - C. be free of buildings, parking spaces, and servicing and manoeuvring areas.

b. Within the Englefield, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham, Piko, Cashmere, Bewdley and Roker Character Areas:

- i. a residential unit at ground floor level must have an outdoor living space that is at least 50 square metres at ground floor level and has no dimension less than 5 metres; and
- ii. a residential unit located above ground floor level must have an outdoor living space in the form of a balcony, patio, or roof terrace, of at least 8 square metres and a minimum dimension of 1.8 metres; and
- iii. any outdoor living space must be:
 - A. accessible from the residential unit;
 - B. located directly adjacent to the unit; and
 - C. be free of buildings, parking spaces, and servicing and manoeuvring areas.

c. Within the Lyttelton Character Area:

- i. a residential unit at ground floor level must have an outdoor living space that is at least 90 square metres at ground floor level and has no dimension less than 5 metres; and
- ii. a residential unit located above ground floor level must have an outdoor living space in the form of a balcony, patio, or roof terrace, of at least 8 square metres and a minimum dimension of 1.8 metres; and
- iii. any outdoor living space must be:
 - A. accessible from the residential unit;
 - B. located directly adjacent to the unit; and
 - C. be free of buildings, parking spaces, and servicing and manoeuvring areas.

- d. In Residential Heritage Areas each residential unit shall be provided with an outdoor living space in a continuous area, contained within the net site area with a minimum area as follows:

i.	<u>In Heaton Street, Wayside Avenue and RNZAF Station Wigram Staff Housing Residential Heritage Areas</u>	<u>80m²</u>
ii.	<u>In Church Property Trustees North St Albans Subdivision (1923), Piko/Shand (Riccarton Block) State Housing, Macmillan Avenue, Shelley/Forbes Street, Englefield Avonville, Chester Street East/Dawson Street, and Inner City West Residential Heritage Areas</u>	<u>50m²</u>

14.5.3.2.11 Windows to street

- a. Within the Heaton, Beverley, Englefield, Piko, Cashmere and Lyttelton Character Areas, any residential unit facing the street must have a minimum of 20% of the street-facing façade(s) in transparent glazing, or a combination of transparent glazing and a front door.
- b. Within the Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham and Roker Character Areas, any residential unit facing the street must have a minimum of 30% of the street-facing façade(s) in transparent glazing, or a combination of transparent glazing and a front door.
- c. Within the Bewdley Character Area, any residential unit facing the street must have a minimum of 40% of the street-facing façade in transparent glazing.
- d. For the purpose of this rule, any area of roofspace that is fully enclosed by a gable shall not be included in the area of the front façade.

14.5.3.2.12 Fencing in character areas

- a. Within the Heaton Character Area, the maximum height of fencing along the front boundary is 1.8 metres.
- b. Within the Beverley, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Dudley, Beckenham and Therese Character Area, the maximum height of fencing along the front boundary is 1.2 metres.
- c. Within the Ryan Character Area, the maximum height of fencing along the front boundary is 0.8 metres.
- d. Within the Englefield and Piko Character Area, the maximum height of fencing along the front boundary is 1 metres.
- e. Within the Evesham/Bewdley Character Area, the maximum height of fencing along the front boundary is 0.5 metres.
- f. Within the Cashmere Character Area, the maximum height of:
 - i. fencing along the front boundary is 1.2 metres; and
 - ii. any retaining wall along the front boundary is 1.5 metres.

- iii. And where a fence is proposed on a retaining wall, it must be set back from the front face of the retaining wall by 1.2 metres with the intervening area containing planting.
- g. Within the Lyttelton Character Area, the maximum height of:
 - i. fencing along the front boundary is 1 metres; and
 - ii. any retaining wall along the front boundary is 1.5 metres.
 - iii. And where a fence is proposed on a retaining wall, it must be set back from the front face of the retaining wall by 1.2 metres with the intervening area containing planting.
- h. The maximum height of fencing for all side and rear (internal) boundaries is 2.0 metres.
- i. Any areas used for vehicular parking shall be separated from open space, or adjoining residentially zoned sites by fencing that meets the requirements in a) – f) above.

Advice Note: Rule 7.4.3.7 – Access design – shall also apply, where applicable.

14.5.3.2.13 Garaging and carport building location in character areas

- a. Within the Heaton, Beverley, Englefield, Ranfurly, Francis, Malvern, Massey, Severn, Tainui, Ryan, Dudley, Beckenham, Roker, Piko and Bewdley Character Areas, garages and carports (whether detached or not) shall be located:
 - i. to the rear of any residential unit; or
 - ii. to the side of any residential unit, provided that they are located at least 5 metres behind the front façade of a residential unit.
- b. Within the Cashmere Character Area, a single garage or carport less than 4.5 metres in width may be located within the street setback, where it is:
 - i. located front on to the street;
 - ii. less than 25% of the width of the street frontage; and
 - iii. does not have a driveway or garage located within 2.5 metres.
- c. Within the Lyttelton Character Area, garages, carports (whether detached or not) and any areas provided for car parking shall be:
 - i. separate to the residential unit;
 - ii. located to the side or rear of the residential unit; and
 - iii. located at least 1.2m behind behind the front façade of a residential unit, except if a car parking area.

14.5.3.2.14 Internal separation in character areas

- a. Within the Englefield Character Area, except for the conversion of an existing dwelling into two residential units, any residential must be separated from any other residential unit on the same site by a minimum of 5 metres.
- b. Within any Character Area, any building on a site that contains 2 detached residential units must be setback by a minimum of 5 metres from the second residential unit or any accessory building associated with that unit.

c. Any building must be set back from a shared access by a minimum of 1 metre.

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in green font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in purple is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in blue font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

14.6 Rules — High Density Residential ~~Central City~~ Zone

14.6.1 Activity status tables

14.6.1.1 Permitted activities

- a. The activities listed below are permitted activities in the **High Density Residential** ~~Central City~~ Zone if they meet the activity specific standards set out in this table and the built form standards in Rule [14.6.2](#).
- b. Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.6.1.2](#), [14.6.1.3](#), [14.6.1.4](#), [14.6.1.5](#) or [14.6.1.6](#).

Activity		Activity specific standards
P1	<u>Residential activity</u>	<ol style="list-style-type: none"> a. No more than one heavy vehicle shall be stored on the site of the residential activity. b. Any motor vehicles and/or boats built, dismantled, repaired or stored on the site of the residential activity shall be owned by people who live on the same site. c. In relation to the building, dismantling, repair or storage of motor vehicles, the vehicles shall be contained in a building, or, if the vehicles are not contained in a building, there shall be no more than three vehicles involved. d. In relation to the building, dismantling, repair or storage of boats, collectively the boats shall occupy no more than 45m². e. <u>There shall be no more than 3 residential units per site.</u>
P2	<u>Bed and breakfast</u>	<ol style="list-style-type: none"> a. There shall be: <ol style="list-style-type: none"> i. a maximum of six guests accommodated at any one time;

Activity		Activity specific standards
		<ul style="list-style-type: none"> ii. at least one owner of the residential unit residing permanently on site; and iii. no guest given accommodation for more than 90 consecutive days.
P32	Relocation of a building	Nil
P4	<p>Development of Lot 1 DP 475662, for the purposes of residential activities.</p> <p>If the activity specific standards are met then no other provisions apply.</p>	<ul style="list-style-type: none"> a. There shall be not less than 50 residential units and not more than 90 residential units developed on the site. b. The development of these units may proceed in stages of not less than 9 residential units at a time, with the first stage to comprise not less than 10 residential units. c. All residential units shall be completed by 30 June 2020. d. No building shall exceed 15 metres in height. e. The gross floor area of all non-residential activities on the site shall not exceed 525m². f. All non-residential activities shall be situated at ground floor.
P53	Market gardens, community gardens, and garden allotments.	Nil
P64	Repair or rebuild of multi-unit residential complexes damaged by the Canterbury earthquakes of 2010 and 2011 on properties with cross leases, company leases or unit titles as at the date of the earthquakes	<ul style="list-style-type: none"> a. Where the repair or rebuild of a building will not alter the footprint of the building, location, or height, the building need not meet the built form standards. b. Where the footprint of the building, location, or height is to be altered no more than necessary in order to comply with legal or regulatory requirements or the advice of a suitably qualified and experienced chartered engineer: <ul style="list-style-type: none"> i. the only built form standards that shall apply are those specified in Rules 14.6.2.1 – Building height and 14.6.2.2 – <u>Daylight recession planes Height in relation to boundaries</u>; ii. in relation to the road boundary setback, the repaired or rebuilt building shall have a setback of at least 3 metres; iii. the standards at (i) and (ii) shall only apply to the extent that the repaired or rebuilt building increases the level of non-compliance with the standard(s) compared to the building that existed at the time of the earthquakes. <p>Advice note:</p>

Activity	Activity specific standards
	<p>1. Examples of regulatory or legal requirement that may apply include the New Zealand Building Code, Council bylaws, easements, and other rules within this Plan such as the requirements for minimum floor levels in Chapter 5.</p> <p>c. If paragraphs a. and b. do not apply, the relevant built form standards apply.</p> <p>d. Any application arising from not meeting standards a. and b.i. shall not be publicly notified, and may be limited notified to adjoining property owners, (where the consent authority considers this is required, and absent written approval).</p> <p>e. Any application arising from not meeting standard b.ii. (road boundary setbacks), shall not be publicly or limited notified.</p>
<p>P75 Care of non-resident children within a residential unit in return for monetary payment to the carer</p>	<p>a. There shall be:</p> <ul style="list-style-type: none"> i. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and ii. at least one carer residing permanently within the residential unit.
<p>P86 Any non-residential activity or home occupation up to 40m² gross floor total area (including comprising the floor area of the building or part of the building (measured internally) and any area of outdoor storage area used for the activity) that is otherwise not provided for under Rule 14.6.1.1 P9 and P10.</p>	<p>a. Only those persons who reside permanently on the site can be employed in the activity.</p> <p>b. The maximum total number of hours the site shall be open to visitors, clients or deliveries for the activity shall be 40 hours per week, and shall be limited to between the hours of:</p> <ul style="list-style-type: none"> i. 0700 – 2100 Monday to Friday, and ii. 0800 – 1900 Saturday, Sunday, and public holidays. <p>c. The maximum number of vehicle movements per site, other than for residential activities, shall be:</p> <ul style="list-style-type: none"> i. heavy vehicles: 2 per week; and ii. other vehicles: 16 per day. <p>d. Boarding animals on a site shall be limited to a maximum of four animals in the care of a registered veterinarian for medical or surgical purposes only.</p> <p>e. Manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out in a fully enclosed building.</p>
<p>P97 Any education facility, spiritual activity, health care facility, preschool (other than</p>	<p>a. Only those persons who reside permanently on the site can be employed in the activity.</p>

Activity	Activity specific standards
<p>as provided for in Rule 14.6.1.1 P7), or guest accommodation up to 40m² gross floor total area (including comprising the floor area of the bulding or part of the building (measured internally) and any area of outdoor storage area used for activities other than residential activities), except those activities provided for in Rule 14.6.1.1 P10.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p> <p>(Proposed Plan Change 5D subject to Council Decision)</p>	<p>b. The maximum total number of hours the site shall be open to visitors, clients or deliveries for the activity, other than for guest accommodation activities, shall be 40 hours per week, and shall be limited to between the hours of:</p> <ul style="list-style-type: none"> i. 07:00 – 21:00 Monday to Friday, and ii. 08:00 – 19:00 Saturday, Sunday, and public holidays. <p>c. The maximum number of vehicle movements per site, other than for residential activities, shall be:</p> <ul style="list-style-type: none"> i. heavy vehicles: 2 per week; and ii. other vehicles: 16 per day.
<p>P108 Any community facility, preschool (other than as provided for in Rule 14.6.1.1 P7), or guest visitor accommodation on Fitzgerald Avenue, or Bealey Avenue between Durham Street North and Madras Street.</p>	<p>a. The maximum total number of hours the site shall be open to visitors, clients or deliveries for the activity shall be 40 hours per week, and shall be limited to between the hours of:</p> <ul style="list-style-type: none"> i. 07:00 – 21:00 Monday to Friday, and ii. 08:00 – 19:00 Saturday, Sunday, and public holidays. iii. Except that the hours of operation in Rule 14.6.1.1 P10 a.i. and a.ii. do not apply to guest visitor accommodation. <p>b. The maximum number of vehicle movements per site per day for any activity, other than for residential activities, shall be 200 and:</p> <ul style="list-style-type: none"> i. Vehicles, other than heavy vehicles associated with any residential activity on the site, shall be included in determining the number of vehicle movements to and from any site. Vehicles parking on the street or on any other site, in order that their occupants can visit the site, shall also be included in determining the number of vehicles trips to and from any site.
<p>P119 Fire stations on Lot 1 DP 53863</p>	<p>Nil</p>
<p>P1210 a. Activity associated with a retirement village.</p>	<p>Nil</p>

Activity	Activity specific standards
<p>b. This activity does not include any new building, or alteration or addition to an existing building, for a retirement village (Refer to Rule 14.6.1.3 RD4 and RD5).</p> <p>c. The built form standards in Rule 14.6.2 do not apply to this activity.</p>	
<p>P13 11</p> <p>Activity associated with a cultural activity at 52 Rolleston Avenue (Lot 2 DP 496200)</p>	<p>a. The hours the site shall be open to visitors, clients or deliveries for any activity other than residential activities shall be limited to between the hours of:</p> <ul style="list-style-type: none"> i. 07:00 – 21:00 Monday to Friday, and ii. 08:00 – 19:00 Saturday, Sunday, and public holidays.
<p>P14 12</p> <p>Hosted visitor accommodation</p>	<p>a. A maximum of six guests shall be accommodated at any one time.</p> <p>b. The Council shall be notified in writing prior to commencement.</p> <p>c. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request.</p> <p>d. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request</p>
<p>P15 13</p> <p>Visitor accommodation in a heritage item</p>	<p>a. A permanent resident or manager/supervisor for the property shall be in residence on the site for the duration of any visitors' stays.</p> <p>b. A maximum of ten guests shall be accommodated at any one time.</p> <p>c. The Council shall be notified in writing prior to commencement.</p> <p>d. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request.</p>

Activity	Activity specific standards
	e. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.

(Plan Change 4 Council Decision subject to appeal)

14.6.1.2 Controlled activities

There are no controlled activities.

Activity	The matters over which Council reserves its control:
<p>C1 Unhosted visitor accommodation in a residential unit:</p> <ul style="list-style-type: none"> a. for a total per site of 60 nights or fewer per year; b. for a maximum of six guests at any one time. 	<ul style="list-style-type: none"> a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles f. Building access arrangements and wayfinding g. Controls on the effects and scale of functions or events h. Controls on check-in and check-out times.
<p>C2 Visitor accommodation in a heritage item that does not comply with activity specific standard (a) in Rule 14.6.1.1 P15.</p>	<ul style="list-style-type: none"> a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles f. Building access arrangements and wayfinding g. Controls on the effects and scale of functions or events h. Controls on check-in and check-out times.

(Plan Change 4 Council Decision subject to appeal)

14.6.1.3 Restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in Rule 14.15, as set out in the following table.

Activity	The Council's discretion shall be limited to the following matters:
<p>RD1</p> <p>a. Any permitted activity, or a cultural activity at 52 Rolleston Avenue (Lot 2 DP 496200), that does not meet one or more of the built form standards in Rule 14.6.2.</p> <p>b. Any application arising from the following built form standards shall not be limited or publicly notified:</p> <ul style="list-style-type: none"> i. Rule 14.6.2.3 Road boundary building ii. Rule 14.6.2.5 Fencing and screening iii. Rule 14.6.2.7 Tree and garden planting iv. Rule 14.6.2.7 Minimum residential unit size v. Rule 14.6.2.8 Ground floor habitable space vi. Rule 14.6.2.9 Outdoor living space vii. Rule 14.6.2.10 Service space viii. Rule 14.6.2.11 Minimum site density from development and redevelopment of residential units <p>c. Any application arising from Rule 14.6.2.12 shall not be publicly notified and shall be limited notified only to the Fire and Emergency New Zealand Fire Service (absent its written approval).</p>	<p>a. As relevant to the built form standard that is not met:</p> <ul style="list-style-type: none"> i. Building height - Rule 14.15.279. ii. Daylight recession planes – Rule 14.15.2830. iii. Street scene and accessways – Rule 14.15.2931. iv. Minimum building setbacks from internal boundaries - Rule 14.15.302. v. Fencing and screening – Rule 14.15.313. vi. Landscaping and tree planting – Rule 14.15.324. vii. Minimum unit size – Rule 14.15.4. viii. Ground floor habitable space – Rule 14.15.25. ix. Outdoor living space – Rule 14.15.20. x. Service space – Rule 14.15.26. xi. Minimum site density from development and redevelopment of residential units – Rule 14.15.34. xii. Water supply for firefighting – Rule 14.15.7

Activity	The Council's discretion shall be limited to the following matters:
<p>RD2</p> <p>a. Any activity involving the erection of new buildings and alterations or additions to existing buildings including all accessory buildings, fences and walls associated with that development, that result in:</p> <p>i. threefour or more residential units; or</p> <p>ii. <u>Any garage or carport that does not meet the garage and carport Rule 14.6.2.14 – Garaging and carport building location; or</u></p> <p>iii. <u>Any habitable room that does not meet Rule 14.6.2.9 – Ground floor habitable room.</u></p> <p>b. one or two residential units on a site smaller than 300m² gross site area (prior to subdivision); or</p> <p>c. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Urban design in the Residential Central City Zone – Rule 14.15.33</p> <p>b. <u>Residential design principles – Rule 14.15.1</u></p>
<p>RD3</p> <p>a. Cultural activity at 52 Rolleston Avenue (Lot 2 DP 496200).</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Urban Design in the High Density Residential zone within the Central City – Rule 14.15.335</p>
<p>RD4</p> <p>a. Any new building, or alteration or addition to an existing building for a retirement village that meet the following built form standards:</p> <p>i. Rule 14.6.2.1 Building height</p> <p>ii. Rule 14.6.2.2 Daylight recession planes Height in relation to boundary</p> <p>iii. Rule 14.6.2.3 Road boundary building setback</p> <p>iv. Rule 14.6.2.4 Minimum building setbacks from internal boundaries</p> <p>v. Rule 14.6.2.123 Water supply for firefighting</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Retirement villages – Rule 14.15.9</p>
<p>RD5</p> <p>a. Any new building, or alteration or addition to an existing building for a retirement village that does not meet one or more of the following built form standards:</p>	<p>a. Retirement villages – Rule 14.15.9</p> <p>And as relevant to the built form standard that is not met:</p>

Activity	The Council's discretion shall be limited to the following matters:
<ul style="list-style-type: none"> i. 14.6.2.1 Building height ii. Rule 14.6.2.2 Daylight recession planes Height in relation to boundary iii. Rule 14.6.2.3 Road boundary building setback iv. Rule 14.6.2.4 Minimum building setbacks from internal boundaries v. Rule 14.6.2.123 Water supply for firefighting b. Any application arising from Rule 14.6.2.3 shall not be limited or publicly notified. c. Any application arising from Rule 14.6.2.12 shall not be publicly notified and shall be limited notified only to the Fire and Emergency New Zealand Fire Service (absent its written approval). 	<ul style="list-style-type: none"> b. Building height in the High Density Residential zone within the Central City – Rule 14.15.279 c. Daylight recession planes High Density Residential zone within the Central City – Rule 14.15.2830 d. Street scene and access ways in the High Density Residential zone within the Central City – Rule 14.15.2931. e. Minimum building setbacks from internal boundaries in the High Density Residential Zone within the Central City – Rule 14.15.302. f. Water supply for firefighting – Rule 14.15.7
RD6 <ul style="list-style-type: none"> a. Any residential activity that does not meet rule 14.6.1.1.P1.e (number of residential units. b. An application arising from this rule shall not be publicly notified. 	<ul style="list-style-type: none"> a. <u>Residential urban design principles – Rule 14.15.1</u>
RD7 <ul style="list-style-type: none"> a. <u>Any building between 14-20 metres in height above ground level, when the following standards are met:</u> <ul style="list-style-type: none"> i. <u>the highest floor shall be stepped back at least 1 metre from the floor beneath; and</u> ii. <u>A ground level communal outdoor living space shall be provided at a ratio of 50m² per 10 residential units. The number of units shall be rounded to the nearest 10, in accordance with the Swedish rounding system. This ratio shall be calculated on the number of residential units on the 4th floor of the building and any subsequent floors above, with the maximum required area being 20% of the site area. Any communal outdoor living space shall have a minimum dimension of no less than 8 metres.</u> c. <u>Any building exceeding 20 metres in height up to 32 metres in height above ground level (except within the High Density Residential Precinct, Large Local Centre Intensification</u> 	<ul style="list-style-type: none"> a. <u>Impacts on neighbouring property – Rule 14.15.3.a.</u>

Activity		The Council's discretion shall be limited to the following matters:
	<p><u>Precinct, or Town Centre Intensification Precinct), where the following standards are met:</u></p> <ul style="list-style-type: none"> i. <u>The standards in RD7.a i. and ii.;</u> ii. <u>The building is set back at least 6 metres from all internal boundaries; and</u> iii. <u>The building is set back at least 3 metres from any road boundary.</u> 	
RD8	<ul style="list-style-type: none"> a. <u>Any building over 32 metres in height above ground level.</u> b. <u>Any building over 20 metres in height above ground level within the High Density Residential Precinct, Large Local Centre Intensification Precinct, or Town Centre Intensification Precinct.</u> 	a. <u>Impacts on neighbouring property – Rule 14.15.3.c.</u>
RD9	<ul style="list-style-type: none"> a. <u>Buildings that do not meet Rule 14.6.2.2 – Height in Relation to Boundary</u> b. <u>Any application arising from this rule, for up to three residential units per site shall not be publicly notified.</u> 	a. <u>Height in relation to boundary breaches – Rule 14.15.4</u>
RD10	<ul style="list-style-type: none"> a. <u>Buildings that do not meet Rule 14.6.2.3 – Setbacks.</u> b. <u>Any application arising from Rule 14.6.2.3.a.i shall not be limited or publicly notified.</u> c. <u>Any application arising from this rule, for up to three residential units per site shall not be publicly notified.</u> 	a. <u>Impacts on neighbouring property – Rule 14.15.3.a</u>
RD11	<ul style="list-style-type: none"> a. <u>Buildings that do not meet Rule 14.6.2.4 – Outlook space.</u> b. <u>Any application arising from this rule, for up to three residential units per site shall not be publicly notified.</u> 	a. <u>Impacts on neighbouring property – Rule 14.15.3</u>
RD12	<u>Development that does not meet Rule 14.6.2.6 - Fencing</u>	a. <u>Residential fencing – Rule 14.15.13</u>
RD13	<ul style="list-style-type: none"> a. <u>Development that does not meet Rule 14.6.2.7 – Landscaped area.</u> b. <u>Any application arising from this rule shall not be limited or publicly notified.</u> 	a. <u>Residential landscaping – Rule 14.15.23</u>

Activity		The Council's discretion shall be limited to the following matters:
RD14	<ul style="list-style-type: none"> a. Buildings that do not meet Rule 14.6.2.10 – Outdoor living space. b. Any application arising from this rule shall not be limited or publicly notified. 	a. Outdoor living space – Rule 14.15.20
RD15	<ul style="list-style-type: none"> a. The erection of new residential units and alterations or additions to residential units that do not meet Rule 14.6.2.8 – Windows to street. b. Any application arising from this rule shall not be limited or publicly notified. 	a. Street-facing glazing non-compliance – Rule 14.15.22
RD16	Residential units that do not meet Rule 14.6.2.11 – Service, storage and waste management	a. Service, storage and waste management spaces – Rule 14.15.19
RD17	<ul style="list-style-type: none"> a. New buildings, structures or additions greater than 20 metres in height from ground level that do not result in wind conditions that exceed the following cumulative standards (Gust Equivalent Mean) more than 5% annually at ground level, within 100 metres of the site based on modelling: <ul style="list-style-type: none"> i. 4m/s at the any boundary of any site, if that boundary adjoins public open spaces, private outdoor living spaces, and footpath; or ii. 6m/s within any carriageway or car parking areas provided within or outside the site. b. New buildings, structures or additions greater than 20 metres in height that do not result in wind speeds exceeding 15m/s wind speeds more than 0.3% annually at ground level. c. The requirement of a. and b. shall be demonstrated by a suitably qualified professional. 	a. Assessment of wind – Rule 14.15.28
RD18	<ul style="list-style-type: none"> a. Residential units that do not meet Rule 14.6.2.12 – Building coverage b. Any application arising from this rule, for up to three residential units per site shall not be publicly notified. 	a. Site density and site coverage – Rule 14.15.2

Activity		The Council's discretion shall be limited to the following matters:
RD19	<u>Buildings that do not meet Rule 14.6.2.5 – Building separation</u>	a. <u>Height in relation to boundary breaches – Rule 14.15.4</u> b. <u>The impact on any communal spaces, including access ways.</u>
RD20	a. <u>Any garage or carport that does not meet the garage and carport Rule 14.6.2.14 – Garaging and carport building location; or</u> b. <u>Any habitable room that does not meet Rule 14.6.2.9 – Ground floor habitable room.</u> c. <u>Any application arising from this rule shall not be limited or publicly notified.</u>	a. <u>Residential design principles – Rule 14.15.1.d and 14.15.1.h</u>
	a. <u>Activities that do not meet Rule 14.6.2.16 – Location of outdoor mechanical ventilation</u> b. <u>Any application arising from this rule shall not be limited or publicly notified.</u>	a. <u>Residential design principles – Rule 14.15.1.d and 14.15.1.e</u>

Advice Note: [Rule RD8, 9.3.4.1.3 \(Restricted Discretionary activities\)](#) applies to any new building (except buildings of less than 5 m in height) on a site in the High Density Residential Zone which is located outside a Residential Heritage Area but shares a boundary with a site or sites in a Residential Heritage Area.

14.6.1.4 Discretionary activities

- a. The activities listed below are discretionary activities

Activity	
D1	Development of Lot 1 DP 475662, for the purposes of residential activities as listed in Rule 14.6.1.1 P4 that does not meet any one or more of the activity specific standards.
D21	a. Any education facility, spiritual activity, health care facility, or preschool (other than as provided for in Rule 14.6.1.1 P7 and Rule 14.6.1.4 D3), or guest accommodation that is over 40m ² but less than 201m ² in gross floor total area (including comprising the floor area of the building or part of the building (measured internally) and any area of outdoor storage area used for activities), other than: <ol style="list-style-type: none"> on a site with frontage to Fitzgerald Avenue, or Bealey Avenue between Durham Street North and Madras Streets; or on a site with frontage to a local road, b. provided that the following standards are met: <ol style="list-style-type: none"> For guest accommodation, at least one employee must must reside permanently on the site. (Plan Change 4 Council Decision subject to appeal) For guest accommodation, at least one employee must must reside permanently

Activity	
	<p>on the site. (Proposed Plan Change 5D subject to Council Decision)</p> <p>ii. The maximum total number of hours the site shall be open to visitors, clients or deliveries for the activity shall be 40 hours per week, and shall be limited to between the hours of:</p> <p>A. 0700 - 2100 Monday to Friday, and</p> <p>B. 0800 - 1900 Saturday, Sunday and public holidays.</p> <p>C. Except that these hours of operation in Rule 14.6.1.4 D2 b.ii. do not apply to guest accommodation</p>
D32	<p>a. Activities that do not meet any one or more of the activity specific standards in Rule 14.6.1.1 for:</p> <p>i. P1 Residential activity</p> <p>ii. P2 Bed and breakfast</p> <p>iii. P7 Care of non-resident children in a residential unit</p>
D43	Any other activity that is not listed as a permitted, restricted discretionary, or non-complying.
D54	<p>a. Hosted visitor accommodation that does not comply with activity specific standards in Rule 14.6.1.1 P14 and that does not exceed twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D65	<p>a. Unhosted visitor accommodation that does not comply with Rule 14.6.1.2 C1 and that does not exceed twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D76	<p>a. Visitor accommodation in a heritage item that does not comply with activity specific standards (b) - (e) in Rule 14.6.1.1 P15 and that does not exceed twenty guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>

(Plan Change 4 Council Decision subject to appeal)

(Proposed Plan Change 5D subject to Council Decision)

14.6.1.5 Non-complying activities

- a. The activities listed below are non-complying activities.

Activity	
NC1	Any non-residential or home occupation activity not otherwise provided for as a permitted, restricted discretionary, discretionary or non-complying activity with a gross

Activity	
	<u>total floor area</u> over 40m ² (including comprising the floor area of the building or part of the building (measured internally) and any area of outdoor storage area used for that activity).
NC2	Any activity listed in Rule 14.6.1.1 P8 that does not meet any one or more of the activity standards in Rule 14.6.1.1 P8 a.-e.
NC3	Any activity listed in Rule 14.6.1.1 P9 that does not meet any one or more of the activity standards in Rule 14.6.1.1 P9 a.-c.
NC4	Any activity listed in Rule 14.6.1.1 P10 that does not meet any one or more of the activity standards in Rule 14.6.1.1 P10 a.-b.
NC5	Any <u>education facility, spiritual activity, health care facility, or preschool</u> (other than as provided for in Rule 14.6.1.1 P7 and Rule 14.6.1.4 D3), or guest accommodation with a <u>gross floor total area</u> over 40m ² (including comprising the floor area of the building or part of the building (measured internally) and any area of outdoor storage area) with <u>frontage</u> to a <u>local road</u> .
NC6	Any <u>education facility, spiritual activity, health care facility, or preschool</u> (other than as provided for in Rule 14.6.1.1 P7 and Rule 14.6.1.4 D3), or guest accommodation that exceeds a <u>gross floor total area</u> of 200m ² (including comprising the floor area of the building or part of the building (measured internally) and any area of outdoor storage area) other than on a <u>site</u> with <u>frontage</u> to Fitzgerald Avenue, or Bealey Avenue between Durham Street North and Madras Streets.
NC7	Any activity listed in Rule 14.6.1.4 D2 that does not meet any one or more of the standards in Rule 14.6.1.4 D2 b.i.-ii.
NC8	<p>a. <u>Visitor accommodation</u> (other than as provided for in Rule 14.6.1.1 P10 and 14.6.1.5 NC4): that is:</p> <ul style="list-style-type: none"> i. <u>not hosted visitor accommodation, unhosted visitor accommodation or visitor accommodation</u> in a <u>heritage item</u>; ii. <u>hosted visitor accommodation</u> that exceeds the maximum number of guests in Rule 14.6.1.4 D5; iii. <u>unhosted visitor accommodation</u> that exceeds the maximum number of guests in Rule 14.6.1.4 D6; or iv. <u>visitor accommodation</u> in a <u>heritage item</u> that exceeds the maximum number of guests in Rule 14.6.1.4 D7. <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>

(Plan Change 4 Council Decision subject to appeal)

(Proposed Plan Change 5D subject to Council Decision)

14.6.1.6 Prohibited activities

There are no prohibited activities.

14.6.2 Built form standards

- a. The following built form standards shall be met by all permitted activities and restricted discretionary activities RD2, unless otherwise stated.

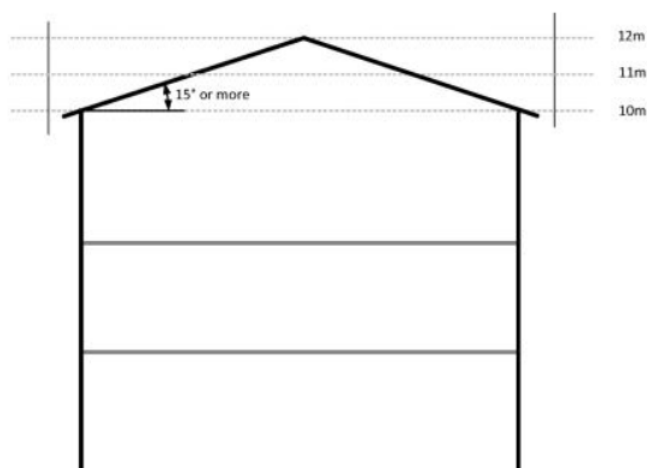
Advice note:

- i. There is no spare, or limited, wastewater, storm water, or water supply infrastructure capacity in some areas of Christchurch City which may create difficulties in granting a building consent for some developments. Alternative means of providing for those services may be limited or not available. Compliance with the District Plan does not guarantee that connection to the Council's reticulated infrastructure is available or will be approved. Connection to the Council's reticulated infrastructure requires separate formal approval from the Council. There is a possibility that approval to connect will be declined, or development may trigger the need for infrastructure upgrades or alternative servicing at the developer's cost. Anyone considering development should, at an early stage, seek information on infrastructure capacity from Council's Three Waters Unit. Please contact the Council's Three Waters Unit at WastewaterCapacity@ccc.govt.nz, WaterCapacity@ccc.govt.nz and Stormwater.Approvals@ccc.govt.nz.
- ii. Reference should be made to 6.11 for applicable qualifying matters.

14.6.2.1 Building height

- a. ~~Buildings must not exceed 14 metres in height above ground level. The maximum height of any buildings shall be as shown on the Central City Maximum Building Height planning map, except that the Central City Maximum Building Height planning map does not apply to the following land where a maximum building height of 20 metres shall apply to buildings for a retirement village:~~
- ~~i. Lot 1 DP 77997 CT CB46D/74;~~
 - ~~ii. Town Section 118 DP 3780; and~~
 - ~~iii. Town Section 119 DP 3780.~~
- b. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the following standard shall apply:
- i. Buildings must not exceed 11 metres in height, except that 50% of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1 metre, where the entire roof slopes 15° or more, as shown

on the following diagram:



- c. Within the Riccarton Bush Interface Area Buildings most not exceed 8 metres in height above ground level.

14.6.2.2 ~~Daylight recession planes~~ Height in relation to boundary

- a. Buildings must not project beyond a 60° recession plane measured from a point 4 metres vertically above ground level along all boundaries, as shown on the following diagram. Where the boundary forms part of a legal right of way, entrance strip, access site, or pedestrian access way, the height in relation to boundary applies from the farthest boundary of that legal right of way, entrance strip, access site, or pedestrian access way.
- b. This standard does not apply to—
 - i. a boundary with a road:
 - ii. existing or proposed internal boundaries within a site:
 - iii. site boundaries where there is an existing common wall between 2 buildings on adjacent sites or where a common wall is proposed.
 - iv. For the construction of two or more residential units, any part of a building along the first 20 metres of a side boundary measured from the road boundary, or 60% of the site depth, measured from the road boundary, whichever is lesser.
 - A. For corner sites, depth is taken from individual adjoining boundaries, perpendicular to the boundary. See Figure 1, below.
 - v. Any part of a building above 12 metres in height above ground level, provided that part of the building is set back at least 6 metres from side and rear boundaries of the development site.
- c. Advice note: Applicable diagrams are contained under Appendix 14.16.2.
- d. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, only the standards in 14.6.2.2. a. and b. shall apply.

- e. ~~Buildings shall not project beyond a building envelope constructed by recession planes from points 2.3 metres above internal boundaries with other sites as shown in Appendix 14.16.2C, except that:~~
- ~~i. Where an internal boundary of a site abuts an access lot, access strip, or access to a rear allotment, the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot, access strip, or access to a rear allotment or any combination of these areas;~~
 - ~~ii. Where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.~~
- d. ~~Where the building is located in a Flood Management Area, the exemptions in Rule 5.4.1.3 apply (for activities P1-P4 in Table 5.4.1.1b).~~
- e. ~~The level of internal boundaries shall be measured from filled ground level except where the site on the other side of the internal boundary is at a lower level, then that lower level shall be adopted.~~

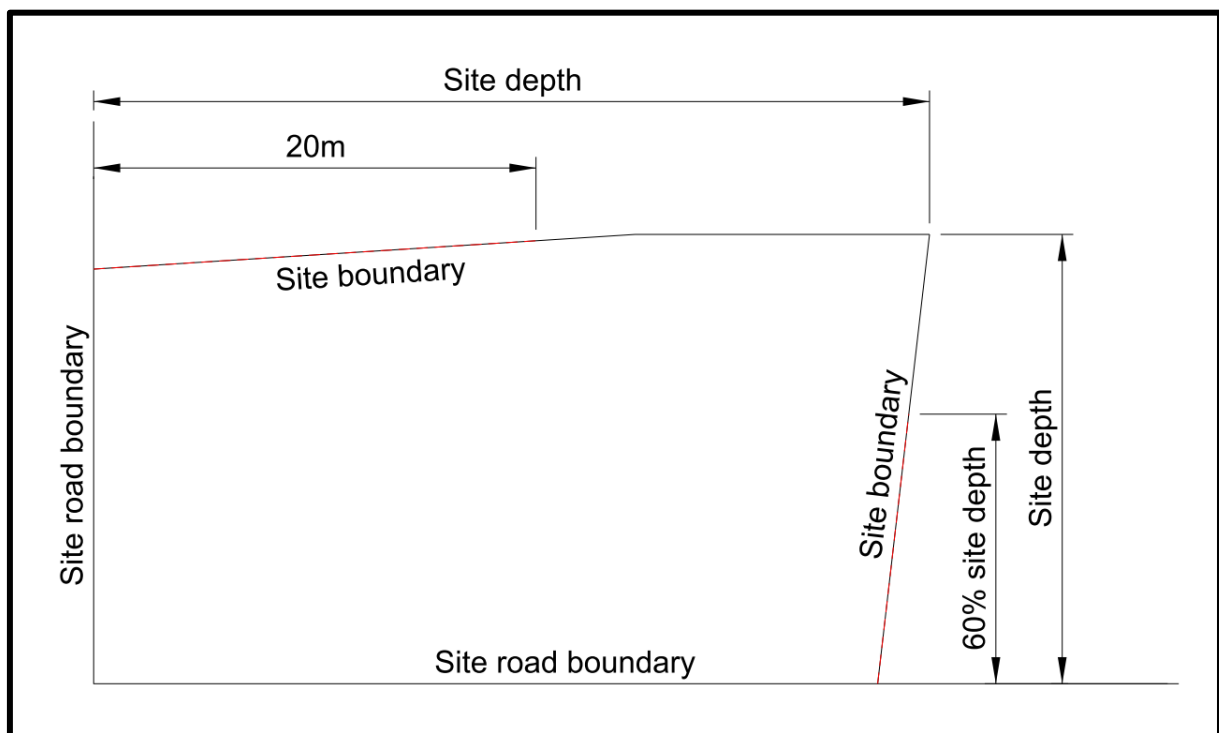


Figure 1: Application of height in relation to boundary exemption for corner sites (14.6.2.2.b.iv)

14.6.2.3 ~~Road boundary building~~ Setbacks

- a. Buildings must be set back from the relevant boundary by the minimum depth listed below:
- i. Front: 1.5 metres
 - ii. Side: 1 metre

- iii. Rear: 1 metre (excluded on corner sites)
- b. This standard does not apply to site boundaries;
 - i. where there is an existing common wall between 2 buildings on adjacent sites or where a common wall is proposed;
 - ii. for accessory buildings less than 3 metres in height, in relation to side and rear boundaries where the total length of the accessory building does not exceed 10.1m; and
 - iii. where eaves and roof overhangs up to 300mm in width and guttering up to 200mm in width from the wall of a building protrude into the front setback.
- c. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the standards in 14.6.2.3.b. ii. and iii. and b. shall not apply.
- d. ~~For sites fronting Bealey Avenue, buildings shall be setback a minimum of 6 metres from the road boundary of Bealey Avenue;~~
- e. ~~In the locations indicated as Central City Building Setbacks, on the Central City Active Frontages and Verandas and Building Setback Planning Map, buildings shall be setback a minimum of 4.5 metres from road boundaries;~~
- f. ~~In all other instances, buildings shall be setback a minimum of 2 metres from road boundaries, except that:~~
 - i. ~~Where a garage has a vehicle door facing a road, the garage door shall be setback a minimum of 4.5 metres unless the garage door projects outward, in which case the garage door shall be setback a minimum of 5.5 metres;~~
 - ii. ~~Where a garage has the vehicle door facing a shared accessway, the garage door shall be setback a minimum of 7 metres measured from the garage door to the furthest formed edge of the adjacent shared access unless the garage door projects outwards, in which case the garage door shall be setback a minimum of 8 metres;~~
 - iii. ~~For street fronting residential units, garages, carports, and other accessory buildings (excluding basement parking areas and swimming pools) shall be located at least 1.2 metres further from the road boundary than the front facade of any ground level habitable space of that residential unit.~~

14.6.2.4 Minimum building setbacks from internal boundaries

- a. ~~Buildings that immediately adjoin an access lot, access strip, or access to a rear site shall be setback a minimum of 1 metres from that part of an internal boundary of a site.~~
- b. ~~Buildings shall be setback a minimum of 1.8 metres from other internal boundaries of a site, except that:~~
 - i. ~~no setback is required from an access lot or access strip on the same site, provided that any windows on the ground floor facing and within 1 metre of the access lot or access strip are non-opening;~~

- ii. ~~no setback for accessory buildings is required, provided the total length of walls or parts of accessory buildings facing and located within the setback is less than 10.1 metres and/or where the accessory building faces the ground floor window of a habitable space on the adjoining site it shall be setback a minimum of 1.8 metres from that neighbouring window for a minimum length of 2 metres either side of the window;~~
 - iii. ~~no setback is required along that part of an internal boundary where buildings on adjoining sites have a common wall along the internal boundary;~~
 - iv. ~~no setback is required for basements, provided that any part of a basement located within 1.8 metres of an internal boundary is wholly below ground level.~~
- c. ~~Parts of a balcony or any window of a living area at first floor level or above shall not be located within 4 metres of an internal boundary of a site, except that this shall not apply to a window at an angle of 90° or greater to the boundary, or a window or balcony which begins within 1.2 metres of ground level (such as above a garage which is partly below ground level).~~
- d. ~~For the purposes of this rule this excludes guttering up to 200mm in width from the wall of a building.~~

14.6.2.4 Outlook space

- a. An outlook space must be provided for each residential unit as specified in this clause.
- b. An outlook space must be provided from habitable room windows as shown in the diagram below:

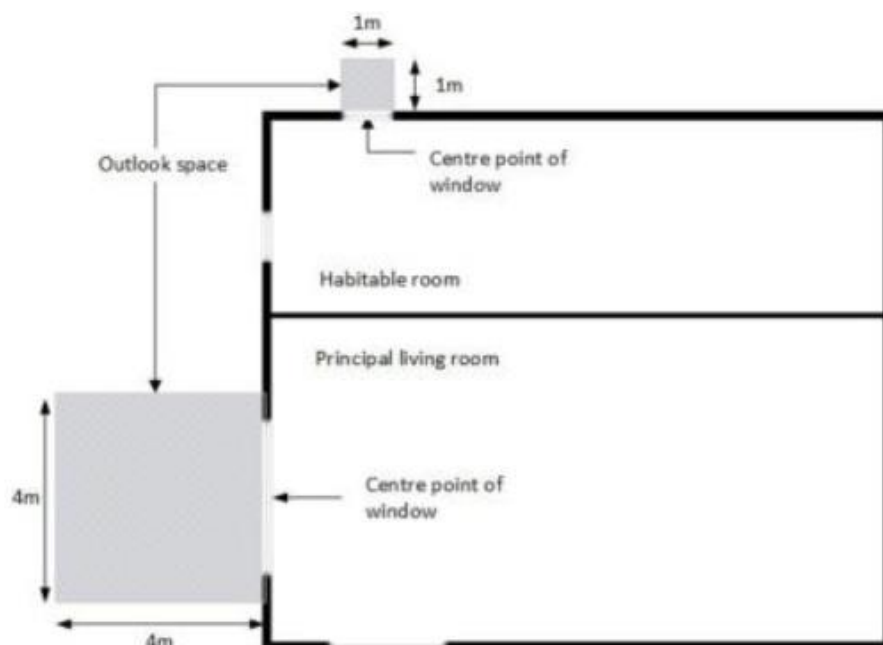


Figure 2: Outlook space

- c. The minimum dimensions for a required outlook space are as follows:

- i. a principal living room must have an outlook space with a minimum dimension of 4 metres in depth and 4 metres in width; and
 - ii. all other habitable rooms must have an outlook space with a minimum dimension of 1 metre in depth and 1 metre in width.
- d. The width of the outlook space is measured from the centre point of the largest window on the building face to which it applies.
- e. Outlook spaces may be over driveways and footpaths within the site or over a public street or other public open space.
- f. Outlook spaces may overlap where they are on the same wall plane in the case of a multi-storey building.
- g. Outlook spaces may be under or over a balcony.
- h. Outlook spaces required from different rooms within the same building may overlap.
- i. Outlook spaces must—
 - i. be clear and unobstructed by buildings (excluding any doors opening into an outlook space from the principal living room); and
 - ii. not extend over an outlook space or outdoor living space required by another dwelling.
- j. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the standards in 14.6.2.4.i.i. 'excluding any doors opening into an outlook space from the principal living room' shall not apply.

14.6.2.5 Building separation

- a. Any part of a building above 12 metres in height above ground level must be separated from any other building by at least 10 metres measured horizontally

14.6.2.6 Fencing and screening

- a. ~~Parking areas shall be screened on internal boundaries by landscaping, wall(s), fence(s), or a combination of these to a minimum height of 1.5 metres from any adjoining site. Where this screening is by way of landscaping it shall be for a minimum depth of 1.5 metres and the minimum height shall be the minimum height at the time of planting;~~
- b. ~~Other than for screening of the required area of service space or outdoor living space, fences and other screening structures shall not exceed 1 metre in height where they are located either:~~
- c. Any fencing provided shall meet the following standards, being the maximum permitted height:

	<u>Fence location</u>	<u>Fence height standard</u>
i.	<u>Road boundary – non-arterial road</u>	<u>50% road boundary width (excluding accessways) 1.5m</u> <u>Remaining road boundary width 1.0m</u>
ii.	<u>Road boundary – arterial road</u>	<u>50% road boundary width (excluding accessways) 1.8m</u> <u>Remaining road boundary width 1.0m</u>
iii.	<u>Side, rear, and internal boundary.</u>	2.0m

- i. Any fencing requirements under Rule 14.6.2.11 shall not be in addition to the above standards.
- ii. 1m in height maximum on the **boundary** with any land zoned Open Space Community Parks Zone, Open Space Water and Margins Zone and Avon River Precinct/Te Papa Ōtākaro Zone, except that the maximum height shall be 2 metres if the whole fence or screening structure is at least 50% transparent.
- c. For the purposes of this rule, a fence or other screening structure is not the exterior wall of a **building** or **accessory building**.

14.6.2.7 ~~Tree and garden planting~~ **Landscaped area**

- a. A residential unit at ground floor level must have a landscaped area of a minimum of 20% of a developed site with grass or plants, and can include the canopy of trees regardless of the ground treatment below them.
- b. The landscaped area may be located on any part of the development site, and does not need to be associated with each residential unit.
- c. The 20% landscaped area may be provided as a sum across the site, as long as there is a minimum dimension of 0.6m.
- d. For developments not intended for residential activity, a minimum of 20% of the **site** shall be provided for **landscaping** (which may include private or communal open space in residential developments), where
 - i. at least 50% of the landscaping shall be trees and shrubs, and
 - ii. a minimum of one native tree for every 250m² of gross **site** area (prior to **subdivision**), or part thereof, is included within the landscaping;
 - iii. All trees shall be not less than 1.5 metres high at the time of planting;
 - iv. All trees and **landscaping** required by this rule shall be maintained and if dead, diseased or damaged, shall be replaced

14.6.2.8 Minimum residential unit size

- a. The minimum ~~net floor area~~ (including toilets and bathrooms) for any ~~residential unit~~ (excluding ~~parking areas, garages, or balconies~~ allocated to each unit) shall be:
- ~~Studio 35m²~~
 - ~~1 Bedroom 45m²~~
 - ~~2 Bedroom 70m²~~
 - ~~3 or more Bedrooms 90m².~~

14.6.2.8 Windows to street

- a. Any residential unit facing the street must have a minimum of 20% of the street-facing façade in glazing. This can be in the form of windows or doors.
- b. For the purpose of this rule, the area of a single gable facing the street shall not be included in the calculation of the street facing façade, with the area of the gable as per the below diagram, where the internal ceiling height is from the highest room:

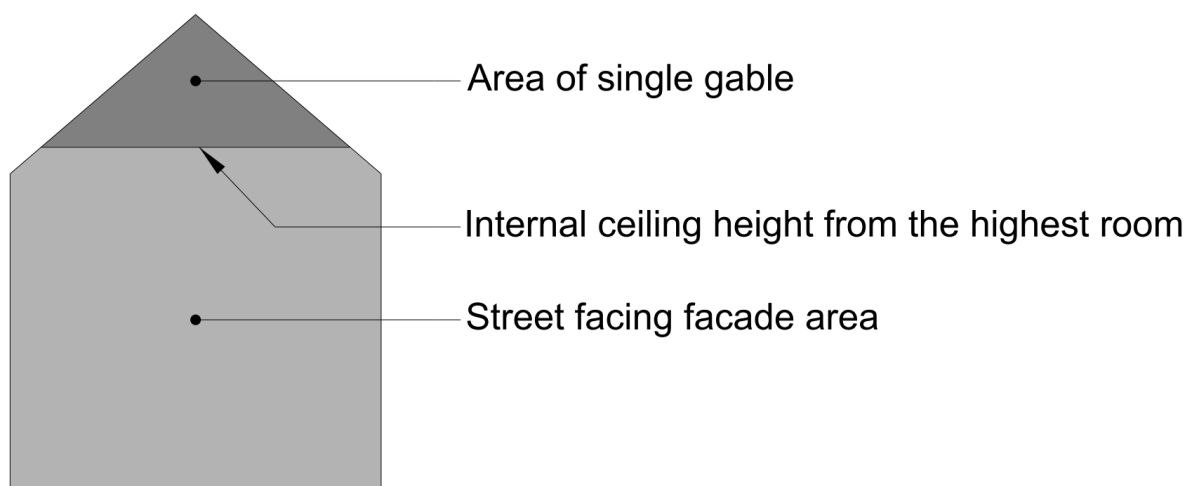


Figure 3: How to measure street facing gable

- c. Where units have a hinged front door facing the street with direct access to a habitable room, the door may be counted toward the glazing requirement under a., up to a maximum of 2m², regardless of whether it is glazed. Total required glazing for that residential unit may further be reduced to 17.5% (inclusive of the door area) provided that:
- there is at least 1m² of ground floor clear glazing from habitable rooms, in addition to the hinged front door;
 - the sill height of the glazing in (i) is no more than 1.2m above interior floor level; and
 - at least 20% of the ground floor street-facing residential units consist of glazing (inclusive of the hinged front door as described above).

- d. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, only the standards in 14.6.2.8.a shall apply.

14.6.2.9 Ground floor habitable ~~space~~ room

- a. ~~Any residential unit fronting a road or public open space, unless built over an access way or another residential unit, shall have a habitable space located at ground level.~~
- b. ~~At least 30% of all residential units within a development shall have a habitable space located at ground level.~~
- c. ~~At least one habitable space located at the ground level of a residential unit shall have a minimum floor area of 12m² and a minimum internal dimension of 3 metres.~~
- d. Any building containing residential units shall:
- i. where a residential unit fronts a road or public open space, unless built over another ground floor residential unit, have a habitable room located at ground level with minimum internal dimension of 3 metres; and
 - ii. have at least 50% of any ground floor area as habitable rooms, except on sites where at least 25% of the building footprint is more than 4 storeys, which shall have at least 30% of any ground floor area as habitable rooms.

14.6.2.10 Outdoor living space

- a. A residential unit at ground floor level must have an outdoor living space that is at least 20 square metres and that comprises ground floor, balcony, patio, or roof terrace space that,—
- i. where located at ground level, has no dimension less than 3 metres; and
 - ii. where provided in the form of a balcony, patio, or roof terrace, is at least 8 square metres and has a minimum dimension of 1.8 metres; and
 - iii. is accessible from the residential unit; and
 - iv. may be
 - A. grouped cumulatively by area in 1 communally accessible location; or
 - B. located directly adjacent to the unit.
 - v. is free of buildings, parking spaces, and servicing and manoeuvring areas.
- b. A residential unit located above ground floor level must have an outdoor living space in the form of a balcony, patio, or roof terrace that—
- i. is at least 8 square metres and has a minimum dimension of 1.8 metres; and
 - ii. is accessible from the residential unit; and
 - iii. may be

A. grouped cumulatively by area in 1 communally accessible location, in which case it may be located at ground level; or

B. located directly adjacent to the unit.

- c. For residential studios with an internal floor area exceeding 35m², or single bedroom units with an internal floor area exceeding 45m², the following outdoor living space areas apply:
- i. 15m² for residential units on the ground floor, with a minimum dimension of 3 metres; and
 - ii. 6m² for residential units above the ground floor, with a minimum dimension of 1.5 metres for balconies, patios or roof terraces.
- d. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the standards in 14.6.2.10.c. shall not apply.
- ~~a. Each residential unit shall provide on site an outdoor living space of at least 24m².~~
- ~~b. The required outdoor living space for each residential unit can be provided through a mix of private and communal areas, at the ground level or in balconies, provided that:~~
- ~~i. each residential unit shall have private outdoor living space of at least 8m² in total, not occupied by parking areas or access;~~
 - ~~ii. each private outdoor living space dimension shall be a minimum of 4 metres when provided at ground level and a minimum of 1.5 metres when provided by a balcony;~~
 - ~~iii. at least one private outdoor living space is to be directly accessible from a living area of that residential unit;~~
 - ~~iv. each outdoor living space provided as a communal space shall be accessible for use by all on site residents and each dimension shall be a minimum of 4 metres;~~
 - ~~v. 50% of the outdoor living space required across the entire site shall be provided at ground level;~~
 - ~~vi. any communal space may be located indoors provided its use is explicitly for a recreation activity for the exclusive use of the residents of, and guests to the units on the site.~~

14.6.2.11 Service space, storage and waste management

- ~~a. Each residential unit shall be provided with at least 3m² of indoor or outdoor service space at ground floor level for the dedicated storage of waste and recycling bins.~~
- ~~b. The required service space for each residential unit shall be provided either individually, or within a dedicated shared communal space, but shall not be located between the road boundary and any habitable space.~~
- c. Service space for the storage of waste and recycling bins shall be fully screened from any site, road and outdoor living space which adjoins the service space.

- d. For any development resulting in four or more residential units on a site:
- i. each residential unit shall have at least 2.25m² of outdoor or indoor space at ground floor level for the dedicated storage of waste and recycling bins. This space shall have a minimum dimension of 1.2 metres. Where located between a residential unit and the road boundary or access (pedestrian or vehicle) bins shall be screened by a solid fence with a minimum height of 1.2 metres;
 - ii. each residential unit shall have at least 3m² of dedicated outdoor space at ground floor level for washing lines. This space shall have a minimum dimension of 1.5 metres; and
 - iii. the required spaces in i. and/or ii. for each residential unit shall be provided either individually, or within a dedicated shared communal space. Any communal area shall be at least the sum total of the spaces required under (i) and (ii) for serviceable residential units.
- e. Each residential unit shall have covered and secure storage areas (in addition to storage in kitchens, bathrooms, bedrooms, and garages) with a minimum dimension of 600mm, to a total cumulative volume of:
- i. 6m³ for one-bed units;
 - ii. 8m³ for two-bedroom units; or
 - iii. 10m³ for three-bedroom units or greater;
- with at least 50% of storage provided internal to the unit.

14.6.2.12 ~~Minimum site density from development and redevelopment of residential units~~ Building coverage

- a. The maximum building coverage must not exceed 50% of the net site area;
- i. Except that eaves and roof overhangs up to 300mm in width and guttering up to 200mm in width from the wall of a building shall not be included in the building coverage calculation.
- b. From the date of notification of Council's Intensified Planning Instrument until public notice of the Council's decision following Hearing Panel recommendations, the standard in 14.6.2.12.a.i. shall not apply.
- c. ~~The minimum residential site density to be achieved when a site is developed or redeveloped with a residential unit or units shall be not less than one residential unit for every complete 200m² of site area (e.g. a site area of 399m² requires 1 residential unit, a site area of 400m² requires 2 residential units).~~

14.6.2.13 Water supply for firefighting

- a. Provision for sufficient water supply and access to water supplies for firefighting shall be made available to all **buildings** (excluding **accessory buildings** that are not **habitable buildings**) via **Council's** urban reticulated system (where available) in accordance with the **New Zealand Fire Service Firefighting Water Supplies Code of Practice (SNZ PAS 4509:2008)**.
- b. **Where a reticulated water supply compliant with SNZ PAS:4509:2008 is not available, water supply and access to water supplies for fire fighting that is in compliance with the alternative firefighting water sources provisions of SNZ PAS 4509:2008 must be provided.**

14.6.2.14 Garaging and carport location

- a. **When developing four or more residential units on a single site, any detached garage or carport on a front site shall be located behind the rear façade of a residential unit.**

14.6.2.15 Location of outdoor mechanical ventilation

- a. **Outdoor heat pump units, or other similar mechanical ventilation units, located at ground level shall not be located within 3 metres from the boundary between a residential site and a road or shared accessway (including a proposed accessway).**

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in **green** font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in **purple** is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in **blue** font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

14.9 Rules — Residential Large Lot Zone

14.9.1 Activity status tables

14.9.1.1 Permitted activities

- a. The activities listed below are permitted activities in the Residential Large Lot Zone if they meet the activity specific standards set out in this table and the built form standards in Rule [14.9.2](#).
- b. Activities may also be controlled restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.9.1.2](#), [14.9.1.3](#), [14.9.1.4](#), [14.9.1.5](#) or [14.9.1.6](#).

Activity		Activity specific standards
P1	Residential activity , except for boarding houses	<ol style="list-style-type: none"> a. No more than one heavy vehicle shall be stored on the site of the residential activity. b. Any motor vehicles and/or boats dismantled, repaired or stored on the site of the residential activity shall be owned by people who live on the same site.
P2	Minor residential unit where the existing site it is to be built on contains only one residential unit	<ol style="list-style-type: none"> a. The existing site containing both units shall have a minimum net site area as specified in Rule 14.9.2.1 – Site density. b. The minor residential unit shall have a minimum gross floor area of 35m² and a maximum gross floor area of 80m². c. The parking areas of both units shall be accessed from the same access.
P3	The erection of one residential unit on 12A, 12B and 12D Vangioni Lane, Akaroa, as shown in Appendix 14.16.10	<ol style="list-style-type: none"> a. No more than one heavy vehicle shall be stored on the site of the residential activity. b. Any motor vehicles and/or boats dismantled, repaired or stored on the site of the residential activity shall be owned by people who live on the same site.

Activity		Activity specific standards
P4	Older person's housing unit	a. Any older person's housing unit shall have a maximum gross floor area of 120m ² .
P5	Home occupation (Proposed Plan Change 5D subject to Council Decision)	<p>a. The gross total floor area of the building or part of the building (measured internally), plus the area used for any outdoor storage area, occupied by the home occupation shall be less no more than 40m².</p> <p>b. The maximum number of FTE persons employed in the home occupation, who reside permanently elsewhere than on the site, shall be two.</p> <p>c. Any retailing retail activity shall be limited to:</p> <ul style="list-style-type: none"> i. the sale of goods grown or produced on the site; ii. goods incidental to an on-site service provided by the home occupation where the goods storage and/or display occupies no more than 1m² of floor area; or iii. internet-based sales where no customer visits occur; and iv. retail activity shall exclude food and beverage outlets. <p>d. Manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out in a fully enclosed building.</p> <p>e. The hours of operation, when the site is open to visitors, clients, and deliveries, shall be limited to between the hours of:</p> <p>07:00 – 21:00 Monday to Friday; and</p> <p>08:00 – 19:00 Saturday, Sunday and public holidays.</p> <p>f. Visitor, courier vehicles and or staff parking areas shall be within the net site area of the property and outside the road boundary setback.</p> <p>g. Vehicle movements associated with the home occupation shall not exceed:</p> <ul style="list-style-type: none"> i. heavy vehicles: 2 per week; and ii. other vehicles: 16 per day. <p>h. Outdoor advertising Signage shall be limited to a maximum area of 20.5m².</p>
P6	Care of non-resident children within a residential unit in return for monetary payment to the carer	<p>a. There shall be:</p> <ul style="list-style-type: none"> i. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and

Activity		Activity specific standards
		<div>ii. at least one carer residing permanently within the residential unit.</div>
P7	<div>Bed and breakfast</div> <div>(Plan Change 4 Council Decision subject to appeal)</div>	<div><div><div>a. There shall be:</div><div><div>i. a maximum of six guests accommodated at any one time;</div><div>ii. at least one owner of the residential unit residing permanently on site; and</div><div>iii. no guest given accommodation for more than 90 consecutive days.</div></div></div></div>
P8	Education activity	<div>a. The activity shall:</div> <div><div>i. only locate on sites with frontage and the primary entrance to a minor arterial road or collector road where right turn offset, either informal or formal, is available;</div><div>ii. only occupy a gross floor area of building of less than 250m²;</div><div>iii. limit outdoor advertising to a maximum area of 2m²;</div><div>iv. limit the hours of operation when the site is open to visitors, students, patients, clients, and deliveries to between the hours of:</div></div>
P9	Preschools, other than as provided for in Rule 14.9.1.1 P6	
P10	Health care facility	<div><div><div>A. Education activity</div><div><div>i. 07:00 – 21:00 Monday to Saturday; and</div><div>ii. Closed Sunday and public holidays.</div></div></div><div><div>B. Preschools</div><div><div>i. 07:00 – 21:00 Monday to Friday, and</div><div>ii. 07:00 – 13:00 Saturday, Sunday and public holidays.</div></div></div><div><div>C. Health care facility</div><div><div>i. 07:00 – 21:00.</div></div></div><div><div>D. Veterinary care facility</div></div><div><div>E. Places of assembly</div></div></div>
P11	Veterinary care facility	
P12	Places of assembly	<div><div><div>v. in relation to preschools, limit outdoor play areas and facilities to those that meet Rule 6.1.5.2.1 Table 1: Zone noise limits outside the Central City;</div><div>vi. in relation to preschools, veterinary care facilities, health care facilities and places of assembly (See Figure 1.):</div></div></div>

Activity		Activity specific standards
		<p>A. only locate on sites where any residential activity on an adjoining front site, or front site separated by an access, with frontage to the same road is left with at least one residential neighbour. That neighbour shall be on an adjoining front site, or front site separated by an access, and have frontage to the same road; and</p> <p>B. only locate on residential blocks where there are no more than two non-residential activities already within that block;</p> <p>vii. in relation to veterinary care facilities, limit the boarding of animals on the site to a maximum of four;</p> <p>viii. in relation to places of assembly, entertainment activities shall be closed Sunday and public holidays; and</p> <p>ix. not include the storage of more than one heavy vehicle on the site of the activity.</p>
P13	Spiritual activities	<p>a. The activity shall:</p> <p>i. only locate on sites with frontage and the primary entrance to a minor arterial road or collector road where right turn offset, either formal or informal, is available;</p> <p>ii. only occupy a gross floor area of building of less than 250m²;</p> <p>iii. limit the hours of operation to 07:00-21:00; and</p> <p>iv. not include the storage of more than one heavy vehicle on the site of the activity.</p>
P14	Community welfare facilities	<p>a. The facility shall:</p> <p>i. only locate on sites with frontage and the primary entrance to a minor arterial road or collector road where right turn offset, either formal or informal, is available;</p> <p>ii. only occupy a gross floor area of building of less than 250m²;</p> <p>iii. limit the hours of operation when the site is open to patients or clients and deliveries to between the hours of 07:00 – 21:00;</p> <p>iv. only locate on sites where any residential activity on an adjoining front site, or front site separated by an access, with frontage to the same road is left with at least one residential neighbour. That neighbour shall be on an adjoining front site, or front site separated by an access, and have frontage to the same road; and</p>

Activity		Activity specific standards
		v. not include the storage of more than one heavy vehicle on the site of the activity.
P15	Emergency services facilities	Nil
P16	Conservation activity	
P17	Farming activity	
P18	Passive recreation activity	
P19	Indigenous vegetation clearance in the Akaroa Hillslopes Density Overlay	<p>a. Any indigenous vegetation clearance undertaken in any continuous period of five years shall not exceed:</p> <ul style="list-style-type: none"> i. 300m² per site, provided that where a site is already partially cleared, the total amount of land cleared on the site over the period shall not exceed 300m²; or ii. 300m² where a site is greater than 1 hectare in area.
P20	Repair or rebuild of multi-unit residential complexes damaged by the Canterbury earthquakes of 2010 and 2011 on properties with cross leases, company leases or unit titles as at the date of the earthquakes	<p>a. Where the repair or rebuild of a building will not alter the building footprint, location, or height, the building need not meet the built form standards.</p> <p>b. Where the building footprint, location, or height is to be altered no more than necessary in order to comply with legal or regulatory requirements or the advice of a suitably qualified and experienced chartered engineer:</p> <ul style="list-style-type: none"> i. the only built form standards that shall apply are those specified in Rules 14.9.2.2 – Building height and 14.9.2.4 – Daylight recession planes; ii. in relation to the road boundary setback, the repaired or rebuilt building shall have a setback of at least 3 metres; iii. the standards at (i) and (ii) shall only apply to the extent that the repaired or rebuilt building increases the level of non-compliance with the standard(s) compared to the building that existed at the time of the earthquakes. <p>Advice note:</p> <ul style="list-style-type: none"> 1. Examples of regulatory or legal requirement that may apply include the New Zealand Building Code, Council bylaws, easements, and other rules within this Plan such as the requirements for minimum floor levels in Chapter 5. <p>c. If paragraphs a. and b. do not apply, the relevant built form standards apply.</p>

Activity		Activity specific standards
		<p>d. Any application arising not meeting standards a. and b.i. shall not be publicly notified, and may be limited notified only to adjoining property owners (where the consent authority considers this is required, and absent written approval).</p> <p>e. Any application arising from not meeting standard b.ii. (road boundary setbacks), shall not be limited or publicly notified.</p>
P21	Relocation of a building	Nil
P22	Market gardens, community gardens, and garden allotments	
P23	<p>Hosted visitor accommodation</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	<p>a. A maximum of six guests shall be accommodated at any one time.</p> <p>b. The Council shall be notified in writing prior to commencement.</p> <p>c. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request.</p> <p>d. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.</p>
P24	<p>Unhosted visitor accommodation</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	<p>a. The total number of nights per year that guests may be accommodated on any one site is 180.</p> <p>b. A maximum of six guests shall be accommodated at any one time.</p> <p>c. The owners and residents of adjoining sites must be provided with up-to-date contact information for the owner or manager of the unit.</p> <p>d. The Council shall be notified in writing prior to commencement.</p> <p>e. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request.</p> <p>f. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.</p>

Activity		Activity specific standards
P25	<p>Visitor accommodation in a heritage item</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	<ul style="list-style-type: none"> a. A permanent resident or manager/supervisor for the property shall be in residence on the site for the duration of any visitors' stays. b. A maximum of ten guests shall be accommodated at any one time. c. The Council shall be notified in writing prior to commencement. d. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request. e. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.

14.9.1.2 Controlled activities

There are no controlled activities.

Activity		The Council's control is reserved to the following matters:
C1	<p>Visitor accommodation in a heritage item that does not comply with activity specific standard (a) in Rule 14.9.1.1 P24 P25.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	<ul style="list-style-type: none"> a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles f. Building access arrangements and wayfinding

Activity		The Council's control is reserved to the following matters:
		g. Controls on the effects and scale of functions or events h. Controls on check-in and check-out times.

14.9.1.3 Restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rule 14.15](#), or as specified, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	Any new building , and associated activity, within the Akaroa Hillslopes Density Overlay with a gross floor area greater than 100m ² .	a. Residential design principles – Rule 14.15.1
RD2	a. Residential unit contained within its own separate site with a minimum net site area that does not meet the standard specified in Rule 14.9.2.1 – Site density by up to 10%. b. Any application arising from this rule shall not be limited or publicly notified.	a. Site density and site coverage – Rule 14.15.2
RD3	Minor residential unit where the minor unit does not meet the activity specific standards in Rule 14.9.1.1 P2 a., b., c., or d.	a. Minor residential units - Rule 14.15.22
RD4	Older person's housing units that do not meet one or more of the activity specific standard in Rule 14.9.1.1 P4 a.	a. Scale <u>and nature</u> of activity – Rule 14.15.5 (Proposed Plan Change 5D subject to Council Decision)
RD5	Retirement villages	a. Retirement villages – Rule 14.15.9
RD6	a. Activities and buildings that do not meet one or more of the activity specific standards in Rule 14.9.1.1 (except P8-P12 activity standard ix. relating to storage of heavy vehicles , (refer to Rule 14.9.1.4 D2)) for: <ol style="list-style-type: none"> i. P8 Education activity 	a. As relevant to the activity specific standard that is not met: <ol style="list-style-type: none"> i. Scale <u>and nature</u> of activity – Rule 14.15.5

Activity	The Council's discretion shall be limited to the following matters:
<ul style="list-style-type: none"> ii. P9 Preschools, other than as provided for in Rule 14.9.1.1 P6 and Rule 14.9.1.3 RD7; iii. P10 Health care facility; iv. P11 Veterinary care facility; v. P12 Places of assembly; vi. P13 Spiritual activities; and vii. P14 Community welfare facilities <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<ul style="list-style-type: none"> ii. Traffic generation and access safety – Rule 14.15.6 iii. Non-residential hours of operation – Rule 14.15.21 <p>(Proposed Plan Change 5D subject to Council Decision)</p>
<p>RD7</p> <p>a. Activities and buildings that do not meet one or more of the activity specific standards in Rule 14.9.1.1 for:</p> <ul style="list-style-type: none"> i. P5 Home occupations: <ul style="list-style-type: none"> A. <u>that do not meet standard a. and occupy a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area, no greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings;</u> B. <u>that do not meet one or more of standards b. to h.</u> ii. P6 Care of non-resident children within a residential unit in return for monetary payment to the carer; and iii. P7 Bed and breakfast. <p>(Plan Change 4 Council Decision subject to appeal) (Proposed Plan Change 5D subject to Council Decision)</p>	<p>a. As relevant to the activity specific standard that is not met:</p> <ul style="list-style-type: none"> i. Scale <u>and nature</u> of activity – Rule 14.15.5 ii. Traffic generation and access safety – Rule 14.15.6 iii. Non-residential hours of operation – Rule 14.15.21 <p>(Proposed Plan Change 5D subject to Council Decision)</p>
<p>RD8</p> <p>Clearance of vegetation that does not meet activity specific standard in Rule 14.9.1.1 P19</p>	<p>a. Indigenous vegetation clearance in Akaroa Hillslopes Density Overlay – Rule 14.15.24</p>
<p>RD9</p> <p>Buildings that do not meet Rule 14.9.2.2 – Building height up to 9 metres.</p>	<p>a. Impacts on neighbouring property – Rule 14.15.3</p>

Activity		The Council's discretion shall be limited to the following matters:
		b. Residential design principles – Rule 14.15.1.g – Hillside and small settlement areas
RD10	Activities and buildings that do not meet Rule 14.9.2.3 – Site coverage where the site coverage is exceeded by 10% or less.	a. Site density and site coverage – Rule 14.15.2
RD11	Buildings that do not meet Rule 14.9.2.4 – Daylight recession planes	a. Impacts on neighbouring property – Rule 14.15.3
RD12	Buildings that do not meet Rule 14.9.2.5 – Minimum building setbacks from internal boundaries	a. Impacts on neighbouring properties – Rule 14.15.3 b. Minimum building, window and balcony setbacks – Rule 14.15.18
RD13	a. Buildings that do not meet Rule 14.9.2.6 – Road boundary building setback. b. Any application arising from this rule shall not be limited or publicly notified.	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
RD14	a. Buildings that do not meet Rule 14.9.2.7 – Building reflectivity and colour. b. Any application arising from this rule shall not be limited or publicly notified.	a. Residential design principles – Rule 14.15.1.i
RD15	a. Residential units that do not meet Rule 14.9.2.8 – Water supply for firefighting. b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to the Fire and Emergency New Zealand Fire Service (absent its written approval).	a. Water supply for fire fighting – Rule 14.15.7
RD16	a. Activities that do not meet Rule 14.9.2.9 – Landscaped areas – Worsleys Road. b. Any application arising from this rule shall not be limited or publicly notified.	a. Street scene – road boundary building setback, fencing and planting – Rule 14.15.17
RD17	a. <u>Residential units that do not meet Rule 14.9.2.9 – Minimum setback for living area windows and balconies facing internal boundaries</u>	a. <u>Impacts on neighbouring properties – Rule 14.15.3</u> b. <u>Minimum building, window and balcony setbacks – Rule 14.15.18</u>

Activity		The Council's discretion shall be limited to the following matters:
RD18	a. <u>Activities that do not meet Rule 14.9.2.10 – Service, storage and waste management spaces</u>	a. <u>Service, storage and waste management spaces – Rule 14.15.21</u>
RD19	a. <u>Fencing that does not meet Rule 14.9.2.11 – Street scene amenity and safety – fences</u>	a. <u>Residential Fencing – Rule 14.15.19</u>
RD20	a. <u>Activities that do not meet Rule 14.9.2.11 – Tree and garden planting</u>	a. <u>Residential landscaping – Rule 14.15.25</u>
RD21	a. <u>Residential units that do not meet Rule 14.9.2.12 – Outdoor living space</u>	a. <u>Outdoor living space – Rule 14.15.22</u>

14.9.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

Activity	
D1	Any activity not provided for as a permitted, controlled, restricted discretionary, non-complying or prohibited activity
D2	a. Activities that do not meet one or more of the activity specific standards in Rule 14.9.1.1 for: <ul style="list-style-type: none"> i. P1 Residential activity; ii. Storage of more than one heavy vehicle for P8-P12, P13 or P14.
D3	Show homes
D4	Residential unit contained within its own separate site with a minimum net site area that does not meet the standard specified in Rule 14.9.2.1 – Site density by more than 10%
D5	Activities and buildings that do not comply with Rule 14.9.2.3 – Site coverage where the site coverage is exceeded by more than 10%
D6	a. Hosted visitor accommodation that does not comply with activity specific standards in Rule 14.9.1.1 P23 and that does not exceed twelve guests per site at any one time. b. Any application arising from this rule shall not be publicly notified but may be limited notified. (Plan Change 4 Council Decision subject to appeal)
D7	a. Unhosted visitor accommodation not subject to Rule 14.9.1.1 P24 and that does not exceed twelve guests per site at any one time. b. Any application arising from this rule shall not be publicly notified but may be limited notified.

Activity	
	(Plan Change 4 Council Decision subject to appeal)
D8	<p>a. Visitor accommodation in a heritage item that does not comply with activity specific standards (b) – (e) in Rule 14.9.1.1 P25 and that does not exceed twenty guests per site at any one time</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>
D9	<p><u>Home occupation with a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area occupied, greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings.</u></p> <p>(Proposed Plan Change 5D subject to Council Decision)</p>

14.9.1.5 Non-complying activities

- a. The activities listed below are non-complying activities.

Activity	
NC1	Buildings over 9 metres in height
NC2	<p>a. Sensitive activities and buildings (excluding accessory buildings associated with an existing activity):</p> <ol style="list-style-type: none"> within 10 metres of the centre line of a 66kV electricity distribution line or within 10 metres of a foundation of an associated support structure; or within 5 metres of the centre line of a 33kV electricity distribution line, or the 11kV Heathcote to Lyttelton electricity distribution line or within 5 metres of a foundation of an associated support structure. <p>b. Fences within 5 metres of a 66kV electricity distribution line, a 33kV electricity distribution line, or the 11kV Heathcote to Lyttelton electricity distribution line.</p> <p>c. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Orion New Zealand Limited or other electricity distribution network operator (absent written approval).</p> <p>Advice note:</p> <ol style="list-style-type: none"> The electricity distribution lines are shown on the planning maps. Vegetation to be planted around electricity distribution lines should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003.

Activity	
	3. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to electricity distribution lines . Buildings and activity in the vicinity of electricity distribution lines must comply with NZECP 34:2001 .
NC3	<p>a. Visitor accommodation that is:</p> <ul style="list-style-type: none"> i. not hosted visitor accommodation, unhosted visitor accommodation or visitor accommodation in a heritage item; ii. hosted visitor accommodation that exceeds the maximum number of guests in Rule 14.4.1.4 D6; iii. unhosted visitor accommodation that exceeds the maximum number of guests in Rule 14.4.1.4 D7; and iv. visitor accommodation in a heritage item that exceeds the maximum number of guests in Rule 14.4.1.4 D8. <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>

14.9.1.6 Prohibited activities

There are no prohibited activities.

14.9.2 Built form standards

14.9.2.1 Site and precinct density

- a. Each [residential unit](#) shall be contained within its own separate [site](#). The [site](#) shall have a minimum [net site area](#) as follows:

	Area	Standard
i.	In all parts of the Residential Large Lot Zone except as specified below	1500m ²
ii.	Residential Large Lot Density Overlay	3000m ²
iii.	Akaroa Hillslopes Density Overlay	5000m ²
iv.	Allandale Density Overlay	In accordance with the Development Plan in Appendix 8.10.13

	Area	Standard
v.	Samarang Bay Density Overlay	In accordance with the Development Plan in Appendix 8.10.12 .
vi.	Older person's housing units Retirement village	There shall be no minimum net site area for any site for any residential unit or older person's housing unit
vii.	<u>Residential Mixed Density Precinct – 86 Bridle Path Road</u>	<u>650m² per residential unit. The maximum number of lots shall be 9.</u>
viii.	<u>Residential Mixed Density Precinct – Redmund Spur</u>	<ol style="list-style-type: none"> <u>650m² per residential unit.</u> <u>The maximum number of lots shall be 400.</u> <u>A minimum of 30% of sites shall have a minimum net site area of 1500m².</u>
ix.	<u>Rural Hamlet Precinct</u>	<u>2000m²</u>

14.9.2.2 Building height

- a. The maximum height of any building shall be:

	Activity	Standard
i.	All buildings unless specified below	8 metres
ii.	Minor residential units in the Residential Large Lot Zone	5.5 metres and of a single storey only

14.9.2.3 Site coverage

- a. The maximum percentage of the net site area covered by buildings shall be as follows:

	Zone/activity	Standard
i.	All activities in the Residential Large Lot Zone unless specified below	40% or 300m ² , whichever is the lesser
ii.	All activities in the Akaroa Hillslopes Density Overlay, and Worsleys Road as shown in Appendix 14.16.8A	10% or 250m ² whichever is the lesser
iii.	All activities in the Samarang Bay Density Overlay	
iv.	All activities in the Allandale Density Overlay	10% or 500m ² whichever is the lesser
v.	Market gardens	55%
vi.	<u>Residential Mixed Density Precinct – 86 Bridle Path Road</u>	<u>1. 35% for sites between 650-1000m².</u>

	Zone/activity	Standard
		2. <u>For sites greater than 1000m² - 25% or 250m² of ground floor area to a maximum of 350m² in total floor area.</u>
vii.	<u>Residential Mixed Density Precinct – Redmund Spur</u>	1. <u>For sites greater than 1000m² - 25% or 250m² of ground floor area to a maximum of 350m² in total floor area.</u> 2. <u>For sites less than 450m² the maximum site coverage shall be 45%</u> 3.

b. For the purposes of this rule this excludes:

- i. fences, walls and retaining walls;
- ii. eaves and roof overhangs up to 600mm in width and guttering up to 200mm in width from the wall of a **building**;
- iii. uncovered swimming pools up to 800mm in **height** above **ground level**; and
- iv. decks, terraces, **balconies**, porches, verandahs, bay or box **windows** (supported or cantilevered) which:
 - A. are no more than 800mm above **ground level** and are uncovered or unroofed; or
 - B. where greater than 800mm above **ground level** and/or covered or roofed, are in total no more than 6m² in area for any one **site**;

14.9.2.4 Daylight recession planes

- a. **Buildings** shall not project beyond a **building** envelope constructed by recession planes, as shown in [Appendix 14.16.2](#) Diagram F, from points 2.3 metres above:
 - i. **ground level** at the internal **boundaries**; or
 - ii. where an internal **boundary** of a **site** abuts an **access** lot or **access strip** the recession plane may be constructed from points 2.3 metres above **ground level** at the furthest **boundary** of the **access** lot or **access strip** or any combination of these areas; or
 - iii. where **buildings** on **adjoining sites** have a common wall along an internal **boundary** the recession planes shall not apply along that part of the **boundary** covered by such a wall.
- b. The recession plane shall only apply to the midpoint of each section of wall and roof of a **building**, as shown in [Appendix 14.16.2B](#).
- c. Except in Worsleys Road where the recession planes shall commence from points 2.3 metres above a line at **ground level** 5 metres inside internal **boundaries**.

- d. Where the **building** is located in a **Flood Management Area**, the exemptions in Rule 5.4.1.3 apply (for activities P1-P4 in Table 5.4.1.1b).
- e. For the purpose of this rule, a section of roof means a continuous part of the roof with the same slope.

Advice note:

~~1. Refer to [Appendix 14.16.2](#) for permitted intrusions.~~

14.9.2.5 Minimum building setbacks from internal boundaries

- a. The minimum **building setback** from internal **boundaries** shall be as follows:

	Activity / area	Standard
i.	All buildings not listed in table below	3 metres
ii.	All buildings in the Allandale Density Overlay and Samarang Bay Density Overlay	15 metres
iii.	All buildings in the Akaroa Hillslopes Density Overlay, and Worsleys Road as shown in Appendix 14.16.8A	5 metres
iv.	Accessory buildings where the total length of walls or parts of the accessory buildings within 1.8 metres of each internal boundary does not exceed 10.1 metres in length	Nil
v.	Decks and terraces at or below ground floor level to a maximum height of 300mm above ground level within 1m of the boundary	Nil
vi.	Buildings that share a common wall along an internal boundary	Nil
vii.	All other buildings where the internal boundary of the site adjoins an access or part of an access	metre
viii.	<u>Within the Residential Mixed Density Precinct – 86 Bridle Path Road, Residential Mixed Density Precinct – Redmund Spur, and Rural Hamlet Precinct, the following standards apply:</u>	
	<u>All buildings not listed in table below</u>	<u>1.8 metres or 1 metre in the Rural Hamlet Precinct</u>
	<u>Accessory buildings where the total length of walls or parts of the accessory buildings within 1.8 metres of each internal boundary does not exceed 10.1 metres in length</u>	<u>Nil</u>
	<u>Decks and terraces at or below ground floor level to a maximum height of 300mm above ground level within 1m of the boundary.</u>	<u>Nil</u>
	<u>Buildings that share a common wall along an internal boundary</u>	<u>Nil</u>

	Activity / area	Standard
	<u>All other buildings where the internal boundary of the site adjoins an access or part of an access</u>	<u>1 metre</u>
ix.		

b. For the purposes of this rule this excludes guttering up to 200mm in width from the wall of a building.

14.9.2.6 Road boundary building setback

a. The minimum road boundary building setback shall be:

	Activity / area	Standard
i.	Any buildings with a garage vehicle door facing the road	5.5 metres
ii.	Buildings without a garage vehicle door facing the road	5 metres
iii.	All buildings in the Akaroa Hillslopes Density Overlay, and Worsleys Road as shown in Appendix 14.16.8	5 metres
iv.	All buildings in the Allandale Density Overlay and Samarang Bay Density Overlay	15 metres
v.	<u>Rural Hamlet Precinct</u>	4.5 metres
vi.	<u>Within the Residential Mixed Density Precinct – 86 Bridle Path Road, Residential Mixed Density Precinct – Redmund Spur</u>	4 metres

b. The following exemptions apply for the Residential Mixed Density Precinct – 86 Bridle Path Road, Residential Mixed Density Precinct – Redmund Spur, and Rural Hamlet Precinct:

i. No garage setback where (See Figure 3):

A. the side walls are parallel to the road boundary and no more than 6.5 metres in length;

B. the side walls facing the road contain a window with a minimum dimension of at least 0.6 metres (including the window frame);

C. the space between the side wall and the road boundary contains a landscaping strip of at least 2 metres in width that includes a minimum of two trees capable of reaching four metres height at maturity; and

D. where the access to the garage is located adjacent to a side boundary:

I. a landscaping strip of at least 0.6 metres width, planted with species capable of reaching 1.5 metres height at maturity, is located along the side boundary up to the line of the residential unit.

E. Where the planting conflicts with required visibility splays the visibility splay rules will prevail and the planting not be required.

- ii. The minimum road boundary setback for a **garage** is 3.5m where (See Figure 4.):
- A. the **garage** is a single **garage**, with the door facing the **road boundary**, accessed from a **local road**;
 - B. the **garage** is a maximum 3.6 metres wide;
 - C. the **garage** is fitted with a sectional door that does not intrude into the driveway when open and can be operated with an automatic opener. Where the **garage** is more than 3.5 metres from the **road boundary** an automatic opener is not required; and
 - D. no part of the **garage** door when opening or shutting extends beyond the **site boundary**.

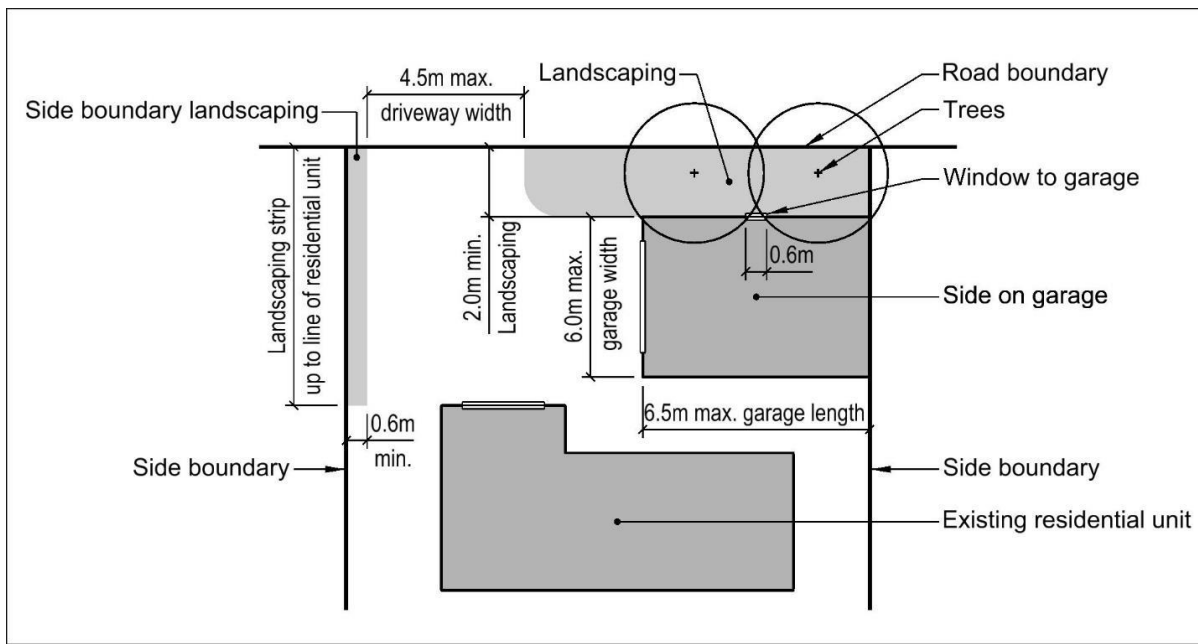


Figure 3: Side extension

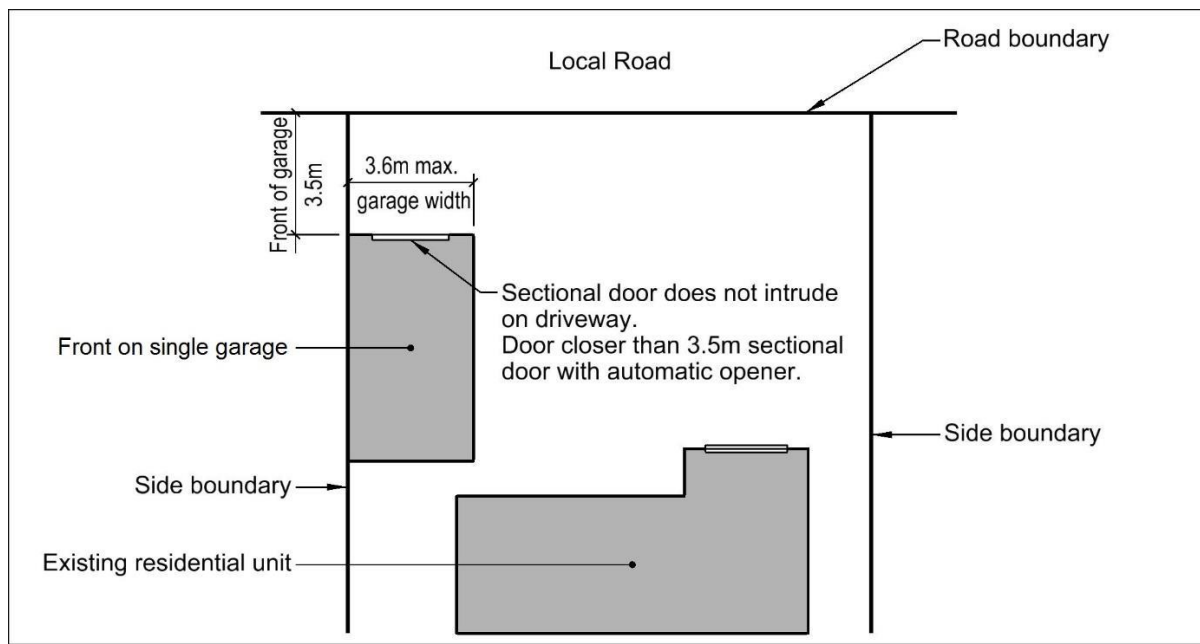


Figure 4: Front extension

14.9.2.7 Building reflectivity and colour

- a. All roof finishes are not to exceed 30% light reflectance value (LRV).
- b. Within the Worsleys Road area as shown in [Appendix 14.16.8B](#):
 - i. any **building** or structure or any addition or alteration to a **building** or structure (excluding trim which does not exceed 200mm in more than one dimension, doors which do not exceed 1.2 x 2.2 metre, or guttering), shall be limited to a colour and reflectivity as specified in [Appendix 14.16.8B](#); and
 - ii. any trim or guttering not exceeding 200mm in more than one dimension, or door which does not exceed 1.2 x 2.2 metre is not required to comply with the colour requirements specified in [Rule 14.9.2.7.b.i.](#) above provided that its reflectivity is less than 70%.
- c. Within the Samarang Bay Density Overlay and the Allandale Density Overlay, all **buildings** shall be finished in colours complying with the colour palette described in [Appendix 14.16.9](#).
- d. **Within the Rural Hamlet Precinct, this rule does not apply.**

14.9.2.8 Water supply for fire fighting

- a. Sufficient water supply and access to water supplies for fire fighting shall be made available to all **residential units** via **Council's** urban fully reticulated system and in accordance with the [New Zealand Fire Service Fire Fighting Water Supplies Code of Practice \(SNZ PAS:4509:2008\)](#).
- b. Where a reticulated water supply compliant with [SNZ PAS:4509:2008](#) is not available, or the only supply available is the controlled restricted rural type water supply which is not compliant with [SNZ PAS:4509:2008](#), water supply and access to water supplies for firefighting shall be in accordance with the alternative firefighting water sources provisions of [SNZ PAS 4509:2008](#).

14.9.2.9 Landscaped areas - Worsleys Road

- a. A minimum of 6 trees shall be planted within 20 metres of each residential unit located in the Worsleys Road area shown in Appendix 14.16.8.
- b. All landscaping/trees required by this rule shall be in accordance with the provisions in Appendix 6.11.6 (Rules and guidance for landscaping and tree planting)
- c. In addition to 14.7.3.9b. above the following trees shall not be planted:
 - i. *Fraxinus excelsior* 'Aurea' (Golden Ash) (or similar yellow ash species)
 - ii. *Gleditsia tricanthos* 'Sunburst' (Honey Locust) (or similar yellow varieties of the honey locust)
 - iii. *Robinia pseudoacacia* 'Frisia' (Black Locust) (or similar yellow varieties of the black locust)
 - iv. *Ulmus procera* 'Louis van Houtte' (Golden Elm) (or similar yellow elm varieties)
 - v. *Arucaria heterophylla* (Norfolk Pine)
 - vi. Any eucalyptus (gum) species and any conifer species such as *Chamaecyparis* spp, *Cupressocyparis leylandii* spp. (eg. Golden Macrocarpa), *Pinus* spp, *Thuja* spp. but conifers which are indigenous to New Zealand (eg. rimu and totara) are not excluded from being planted under this rule.

14.9.2.9 Minimum setback for living area windows and balconies facing internal boundaries

- a. Within the Residential Mixed Density Precinct – 86 Bridle Path Road, Residential Mixed Density Precinct – Redmund Spur, and Rural Hamlet Precinct, the following standards apply:
 - i. The minimum setback for living area windows and balconies at first floor from an internal boundary shall be 4 metres.
 - ii. Where the window is adjacent to an access way, the setback shall be measured from the far side of the access way.

14.9.2.10 Service, storage and waste management spaces

- a. Within the Residential Mixed Density Precinct – 86 Bridle Path Road, Residential Mixed Density Precinct – Redmund Spur, and Rural Hamlet Precinct, for multi-unit residential complexes and social housing complexes:
 - i. each residential unit shall be provided with at least 2.25m² with a minimum dimension of 1.5 metres of outdoor or indoor space at ground floor level for the dedicated storage of waste and recycling bins;
 - ii. each residential unit shall be provided with at least 3m² with a minimum dimension of 1.5 metres of outdoor space at ground floor level for washing lines; and
 - iii. the required spaces in i. and/or ii. for each residential unit shall be provided either individually, or within a dedicated shared communal space.

14.9.2.10 Street scene amenity and safety – fences

- a. **Within the Residential Mixed Density Precinct – 86 Bridle Path Road, Residential Mixed Density Precinct – Redmund Spur, and Rural Hamlet Precinct, for multi-unit residential complexes and social housing complexes:**
- i. **The maximum height of any fence in the required building setback from a road boundary shall be 1.8 metres.**
 - ii. **This rule shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential, or residential and commercial or industrial.**
 - iii. **For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.**

14.9.2.11 Tree and garden planting

- a. **Within the Rural Hamlet Precinct, for multi-unit residential complexes and social housing complexes only, sites shall include the following minimum tree and garden planting:**
- i. **a minimum of 20% of the site shall be provided for landscaping (which may include private or communal open space), where**
 - A. **at least 50% of the landscaping shall be trees and shrubs, and**
 - B. **a minimum of one tree for every 250m² of gross site area (prior to subdivision for allotments within the complex), or part thereof, is included within the landscaping, and**
 - C. **at least one tree shall be planted adjacent to the road boundary;**
 - ii. **all trees required by this rule shall be not less than 1.5 metres high at the time of planting;**
 - iii. **all trees and landscaping required by this rule shall be maintained and if dead, diseased or damaged, shall be replaced; and**
 - iv. **the minimum tree and garden planting requirements shall be determined over the site of the entire complex..**

14.9.2.12 Outdoor living space

- a. **Within the Rural Hamlet Precinct, each residential unit shall be provided with an outdoor living space in a continuous area, contained within the net site area with a minimum area and dimension as follows:**

	Activity/area	Standard	
		Minimum area	Minimum dimension

	<u>Activity/area</u>	<u>Standard</u>	
<u>i.</u>	<u>Residential unit</u>	<u>90m²</u>	<u>6 metres</u>
<u>iii.</u>	<u>Multi-unit residential complexes, social housing complexes and older person's housing units</u>	<u>30m²</u>	<u>4 metres</u>

- b. The required minimum area shall be readily accessible from a living area of each residential unit.
- c. The required minimum area shall not be occupied by any building, access, or parking space, other than:
- i. an outdoor swimming pool; or
 - ii. an accessory building of less than 8m²; or
 - iii. any buildings or parts of a building without walls (other than a balustrade) on at least a quarter of its perimeter, and occupies no more than 30% of the area of the outdoor living space.
- d. This rule only applies to structures on the same site.
- e. This rule does not apply to residential units in a retirement village.

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in **green** font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in **purple** is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in **blue** font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

14.11 Rules - Residential Guest Visitor Accommodation Zone

14.11.1 Activity status tables

14.11.1.1 Permitted activities

- a. The activities listed below are permitted activities in the Residential ~~Guest~~ Visitor Accommodation Zone if they meet the activity specific standards set out in this table, and in relation to Rule **14.11.1.1** P1 and P3 the built form standards in Rule **14.11.2**. (Plan Change 4 Council Decision subject to appeal)
- b. Activities may also be controlled restricted discretionary discretionary, non-complying or prohibited activities as specified in Rules **14.11.1.2**, **14.11.1.3**, **14.11.1.4**, **14.11.1.5** or **14.11.1.6**.

Activity		Activity specific standards
P1	<u>Guest Visitor accommodation</u> including ancillary: <ol style="list-style-type: none">i. offices;ii. meeting and conference facilities;iii. fitness facilities; andiv. the provision of goods and services primarily for the convenience of guests (Plan Change 4 Council Decision subject to appeal)	<ol style="list-style-type: none">a. <u>Guest Visitor accommodation</u> located in the 50 dB Ldn Air Noise Contour shall be designed and constructed to meet the indoor design sound levels contained in Appendix 14.16.4.b. Any ancillary retail activity (excluding food and drink for on-site consumption) shall occupy no more than 250m², or 25% of the GFA of all buildings on the same site, whichever is the lesser.
P2	Any activity or facility (other than an activity listed in Rule 14.11.1.1 P1 or P3)	<ol style="list-style-type: none">a. The activity or facility shall meet the activity specific standards and built form standards

	permitted in the zone listed for that site in Appendix 14.16.11 .	applicable in the zone listed for that site in Appendix 14.16.11 .
P3	<p>a. On the YMCA site listed as GA18 in Appendix 14.16.11:</p> <p>i. Recreation activities, and any of the following activities which are ancillary to guest visitor accommodation and/or recreation activities on the site:</p> <p>A. Education activities;</p> <p>B. Health care facility;</p> <p>C. Offices and administration facilities;</p> <p>D. Parking areas;</p> <p>E. Retail activity; and</p> <p>F. Public meeting rooms and conference facilities.</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>	Nil

14.11.1.2 Controlled activities

There are no controlled activities.

14.11.1.3 Restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in Rule [14.15](#), or as specified, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	Any activity listed in Rule 14.11.1.1 P1 that does not meet activity specific standard a.	a. Acoustic insulation - Rule 14.15.8
RD2	Any activity listed in Rule 14.11.1.1 P1 that does not meet activity specific standard b.	<p>a. Retail activity in the Residential Guest Visitor Accommodation Zone – Rule 14.15.38</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>

RD3	Any activity or facility (other than an activity listed in Rule 14.11.1.1 P1 or P3) listed as a restricted discretionary activity in the zone listed for that site in Appendix 14.16.11.	a. The matters of discretion for the activity or facility as set out in the zone listed for that site in Appendix 14.16.11.
RD4	New buildings, or additions to existing buildings, for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.1 – Urban design	a. Residential design principles – Rule 14.15.1
RD5	<p>a. Buildings for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.2 - Maximum site coverage</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Site density and site coverage – Rule 14.15.2 and for the Commodore Hotel site only:</p> <p>b. Scale and nature of activity - Rule 14.15.5 (h).</p> <p>(Proposed Plan Change 5D subject to Council Decision)</p>
RD6	<p>Buildings for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.3 - Maximum building height.</p> <p><u>Standards for the applicable zones for each group listed under Appendix 14.16.11 apply.</u></p>	a. Impacts on neighbouring property – Rule 14.15.3 <u>as they relate to the applicable zones for each group listed under Appendix 14.16.11.</u>
RD7	<p>a. Buildings for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.4 - Minimum building setback from road boundaries</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	a. Street scene - road boundary building setback, fencing and planting - Rule 14.15.178
RD8	Buildings for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.5 - Minimum internal boundary setbacks	<p>a. Impacts on neighbouring property - Rule 14.15.3</p> <p>b. Minimum building, window and balcony setbacks – Rule 14.15.18</p>
RD9	Buildings for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.6 - Daylight recession planes	a. Impacts on neighbouring property - Rule 14.15.3

RD10	<p>a. Buildings for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.7 - Fences and screening</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Street scene – road boundary building setback, fencing and planting Residential fencing - Rule 14.15.179</p>
RD11	<p>Buildings for an activity listed in Rule 14.11.1.1 P1 or P3 that do not meet the built form standard in Rule 14.11.2.8 - Landscaped areas and trees</p>	<p>a. Tree and garden planting in the Residential Guest Visitor Accommodation Zone – Rule 14.15.437</p> <p>(Plan Change 4 Council Decision subject to appeal)</p>
RD12	<p>Any activity listed in Rule 14.11.1.1 P1 or P3 that does not meet the built form standard in Rule 14.11.2.9 – Vehicle access restrictions</p>	<p>a. Traffic generation and access safety – Rule 14.15.67</p>
RD13	<p>a. Any activity listed in Rule 14.11.1.1 P1 or P3 that does not meet the built form standard in Rule 14.11.2.10 - Water supply for firefighting</p> <p>b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to the New Zealand Fire Service (absent written approval).</p>	<p>a. Water supply for firefighting - Rule 14.15.78</p>

14.11.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

Activity	
D1	Any activity not provided for as a permitted or restricted discretionary activity.

14.11.1.5 Non-complying activities

There are no non-complying activities.

14.11.1.6 Prohibited activities

There are no prohibited activities.

14.11.2 Built form standards

14.11.2.1 Urban design

- a. For all sites, new **buildings** and additions to existing **buildings** including all **accessory buildings**, fences and walls associated with that development, shall not result in:
- any new **building** with a GFA greater than 500m²; or
 - any new **building** with a **building** length greater than 15 metres which is located within 30 metres of a **site boundary**; or
 - any addition to an existing **building** with a **building** length greater than 10 metres which is located within 30 metres of a **site boundary**.

14.11.2.2 Maximum site coverage

- a. The maximum percentage of the **net site area** covered by **buildings** ~~on the following sites as~~ identified in [Appendix 14.16.11](#) shall be ± 50%.

	Applicable to	Standard
i.	Group A and B sites	45%
ii.	Group C sites	55%

14.11.2.3 Maximum building height

- a. The maximum **height** of any **building** on the following sites as identified in [Appendix 14.16.11](#) shall be:

	Applicable to	Standard
i.	Group A sites (excluding the Commodore Hotel)	9 metres, or 11 metres provided the roof has a pitch of more than 22 degrees <u>12 metres</u>
ii.	Group A (Commodore Hotel)	15 metres
iii.	Group B sites	14 metres
iv.	Group C sites	As shown on the Central City Maximum Building Height planning map. 14 <u>metres</u>

14.11.2.4 Minimum building setback from road boundaries

- a. The minimum **building setback** from **road boundaries** ~~on the following~~ sites as identified in [Appendix 14.16.11](#) shall be 1.5 metres.

i.	Applicable to	Standard
ii.	Group A and B sites	4.5 metres
iii.	Group C — All sites except as specified below.	2 metres
iv.	Group C — Peterborough, Montreal and Latimer sites	4.5 metres
v.	Group C — Avon site	2 metres for all road frontages , except on Hurley Street where 4.5 metres is required.

14.11.2.5 Minimum internal boundary setbacks

- a. The minimum **building setback** from an internal **boundary** on the following **sites** as identified in **Appendix 14.16.11** shall be:

	Applicable to	Standard
i.	Group A sites	A. 6 metres from a residential or open space zone boundary. B. 3 metres from all other zone boundaries .
ii.	Group B and C sites	3 metres from any zone boundary

- b. For all sites, the minimum **setback** for any **balcony** or **living area window** at first floor level or above from an internal **boundary** shall be 4 metres from any zone boundary

14.11.2.6 Daylight recession planes

- a. Where an internal **site boundary** adjoins a residential zone, **buildings** shall not project beyond a **building envelope** constructed by recession planes from points **2.3 4** metres above **ground level** at the internal **boundaries** on the following **sites** as identified in **Appendix 14.16.11**, in accordance with the following:

	Applicable to:	Applicable provisions
i.	Group A sites	Rule 14.4.2.6 (Medium density residential Suburban zone) and Diagram A in Appendix 14.16.2
ii.	Group B sites	Rule 14.5.2.6 (High density residential Medium-Density Zone) and Diagram C in Appendix 14.16.2
iii.	Group C sites	Rule 14.6.2.2 (High density residential Central-City Zone) and the diagram in Appendix 14.16.2C

- b. ~~Where the **building** is located in a **Flood Management Area**, the exemptions in Rule 5.4.1.3 apply (for activities P1-P4 in Table 5.4.1.1b).~~

Advice note:

1. — Refer to [Appendix 14.16.2](#) for permitted intrusions.

14.11.2.7 Fences and screening

- a. The maximum **height** of any fence in the **setback** from a **road boundary** on a **local road** shall be:

	Fence type	Standard
i.	Where at least 50% of the fence is visually transparent	1.8 metres
ii.	Where less than 50% of the fence is visually transparent	1.0 metre

- b. The maximum **height** of any fence in the **setback** from a **road boundary** on any **collector road** or **arterial road**, shall be 1.8 metres.
- c. a. and b. above shall not apply to fences or other screening structures located on an internal **boundary** between two properties zoned residential, or residential and commercial or industrial.
- d. For the purposes of this rule, a fence or other screening structure is not the exterior wall of a **building** or **accessory building**.
- e. **Parking areas** shall be separated from **road boundaries**, open space or **adjoining** residential zones by fencing or **landscaping** that meets the requirements in a. above. Where **landscaping** is used, it shall have a minimum depth of 1.5 metres.
- f. Any space designated for outdoor storage shall be fully screened by **buildings**, fencing or **landscaping** from **adjoining sites** or open space zones, **roads** and **adjoining outdoor living spaces** to a **height** of 1.8 metres, and shall not be located within the **road boundary** and internal **boundary setbacks** specified in Rules [14.11.2.4](#) and [14.11.2.5](#).

14.11.2.8 Landscaped areas and trees

- a. Planting shall be provided as follows:

	Applicable to	Standard
i.	Area adjoining the road frontage of all sites .	A. Minimum density of one tree for every 10 metres of road frontage or part thereof, distributed across the frontage. B. Trees to be planted within a 2 metre wide landscape strip. C. All landscaping and trees shall accord with the provisions in Appendix 6.11.6 .
ii.	Area adjoining residential and open space zones of any site .	A. Minimum density of one tree for every 10 metres of the shared boundary or part thereof, distributed across the boundary .

		B. All landscaping and trees shall accord with the provisions in Appendix 6.11.6 .
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Advice note:

1. Screening provisions in Rule **14.11.2.7** also provide for **landscaping**.

14.11.2.9 Vehicle access restrictions

- a. There shall be no **vehicle access** in the following locations as identified in **Appendix 14.16.11**:
 - i. Group C (Avon only) - no **vehicle access** to Hurley Street or Bangor Street.
 - ii. Group B (Chateau on the Park only) - no **vehicle access** to Deans Avenue.

14.11.2.10 Water supply for firefighting

- a. Sufficient water supply and access to water supplies for fire-fighting shall be made available to all activities via **Council's** urban fully reticulated system and in accordance with the **New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008)**.

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in green font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in purple is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in blue font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

14.12 Rules – Residential New Neighbourhood Zone

Advice note:

1. The rules relevant to the Meadowlands Exemplar Overlay in the ~~**Residential New Neighbourhood**~~ **Future Urban** (North Halswell) Zone shown on [Planning Map 45](#) are contained in Chapter 8, see Rules [8.5.1.3](#) RD15, [8.5.1.4](#) D5 and [8.5.1.5](#) NC8.

14.12.1 Activity status tables

14.12.1.1 Permitted activities

- a. The activities listed below are permitted activities in the ~~**Residential New Neighbourhood**~~ **Future Urban** Zone if they meet the activity specific standards set out in this table and the built form standards in Rule [14.12.2](#)
- b. Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.12.1.2](#), [14.12.1.3](#), [14.12.1.4](#), [14.12.1.5](#) and [14.12.2.6](#).

Activity		Activity specific standards
P1	Residential activity , except for residential units containing more than six bedrooms and boarding houses	<ol style="list-style-type: none">a. No more than one heavy vehicle shall be stored on the site of the residential activity.b. Any motor vehicles and/or boats dismantled, repaired or stored on the site of the residential activity shall be owned by people who live on the same site.
P2	Minor residential unit where the minor unit is a detached building and the existing site it is to be built on contains only one residential unit	<ol style="list-style-type: none">a. The existing site containing both units shall have a minimum net site area of 450m².b. The minor residential unit shall have a minimum gross floor area of 35m² and a maximum gross floor area of 80m².c. The parking areas of both units shall be accessed from the same access.

Activity	Activity specific standards
	<p>d. There shall be a total outdoor living space on the existing site (containing both units) with a minimum area of 90m² and a minimum dimension of 6 metres. This total space can be provided as:</p> <ul style="list-style-type: none"> i. a single continuous area; or ii. be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area. iii. This requirement replaces the general outdoor living space requirements set out in Rule 14.12.2.3
P3 Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing up to 6 bedrooms	Nil
P4 Older person's housing unit	<p>a. A maximum gross floor area of 120m².</p>
P5 Home occupation (Plan Change 5D Council Decision)	<ul style="list-style-type: none"> a. The gross total floor area of the building or part of the building (measured internally), plus the area used for any outdoor storage area, occupied by the home occupation shall be less no more than 40m². b. The maximum number of FTE persons employed in the home occupation, who reside permanently elsewhere than on the site, shall be two. c. Any retailing retail activity shall be limited to: <ul style="list-style-type: none"> i. the sale of goods grown or produced on the site; ii. goods incidental to an on-site service provided by the home occupation where the goods storage and/or display occupies no more than 1m² of floor area; or iii. or internet-based sales where no customer visits occur; and iv. retail activity shall exclude food and beverage outlets. d. Manufacturing, altering, repairing, dismantling or processing of any materials, goods or articles shall be carried out in a fully enclosed building. e. The hours of operation, when the site is open to visitors, clients, and deliveries, shall be limited to between the hours of:

Activity		Activity specific standards
		<ul style="list-style-type: none"> i. 07:00 – 21:00 Monday to Friday; and ii. 08:00 – 19:00 Saturday, Sunday and public holidays. f. Visitor, <u>courier vehicles and</u> or staff <u>parking areas</u> shall be <u>within the net site area of the property and</u> outside the <u>road boundary setback</u>. g. <u>Vehicle movements associated with the home occupation shall not exceed:</u> <ul style="list-style-type: none"> i. <u>heavy vehicles: 2 per week; and</u> ii. <u>other vehicles: 16 per day. Outdoor advertising shall be limited to a maximum area of 2m².</u> h. <u>Outdoor advertising Signage</u> shall be limited to a maximum area of <u>20.5m²</u>. <p><u>(Plan Change 5D Council Decision)</u></p>
P6	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer	<ul style="list-style-type: none"> a. There shall be: <ul style="list-style-type: none"> i. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and ii. at least one carer residing permanently within the <u>residential unit</u>.
P7	Bed and breakfast	<ul style="list-style-type: none"> a. There shall be: <ul style="list-style-type: none"> i. a maximum of six guests accommodated at any one time; ii. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>; and iii. no guest given accommodation for more than 90 consecutive days.
P8	<u>Education activity</u>	<ul style="list-style-type: none"> a. The activity shall: <ul style="list-style-type: none"> i. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial road</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal, is available; ii. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m², or in the case of a <u>health care facility</u>, less than 300m²; iii. limit outdoor advertising to a maximum area of 2m²; iv. limit the hours of operation when the <u>site</u> is open to visitors, students, patients, clients, and deliveries to between the hours of:
P9	<u>Preschools</u> , other than as provided for in Rule 14.12.1.1 P6.	
P10	<u>Health care facility</u>	
P11	<u>Veterinary care facility</u>	
P12	<u>Places of assembly</u>	

Activity		Activity specific standards	
		A. Education activity	I. 07:00–21:00 Monday to Saturday; and II. Closed Sunday and public holidays.
		B. Preschool	I. 07:00–21:00 Monday to Friday, and II. 07:00–13:00 Saturday, Sunday and public holidays.
		C. Health care facility	I. 07:00–21:00
		D. Veterinary care facility	
		E. Places of assembly	
		v. in relation to a preschool, limit outdoor play areas and facilities to those that meet Rule 6.1.5.2.1 Table 1: Zone noise limits outside the Central City;	
		vi. in relation to a preschool, veterinary care facilities and places of assembly (See Figure 1): A. only locate on sites where any residential activity on an adjoining front site, or front site separated by an access, with frontage to the same road is left with at least one residential neighbour. That neighbour shall be on an adjoining front site, or front site separated by an access, and have frontage to the same road; and B. only locate on residential blocks where there are no more than two non-residential activities already within that block;	
		vii. in relation to veterinary care facilities, limit the boarding of animals on the site to a maximum of four;	
		viii. in relation to places of assembly, entertainment activities shall be closed Sunday and public holidays;	

Activity		Activity specific standards
		<ul style="list-style-type: none"> ix. in relation to noise sensitive activities, not be located within the 50 dB Ldn Air Noise Contour as shown on the planning maps; and x. not include the storage of more than one heavy vehicle on the site of the activity.
P13	Spiritual activities	<ul style="list-style-type: none"> a. The activity shall: <ul style="list-style-type: none"> i. limit the hours of operation to 07:00-22:00; and ii. not include the storage of more than one heavy vehicle on the site of the activity.
P14	Community corrections facilities	<ul style="list-style-type: none"> a. The facility shall: <ul style="list-style-type: none"> i. limit the hours of operation when the site is open to clients and deliveries to between the hours of 07:00–19:00; and ii. limit signage to a maximum area of 2m².
P15	Community welfare facilities	
P16	Emergency services facilities	Nil
P17	<p>Temporary lifting or moving of earthquake damaged buildings where the activity does not meet one or more of Rules:</p> <ul style="list-style-type: none"> a. Rule 14.12.2.1 – Building height; b. Rule 14.12.2.2 – Site coverage; c. Rule 14.12.2.3 – Outdoor living space; d. Rule 14.12.2.4 – Daylight recession planes; or e. Rule 14.12.2.5 – Minimum building setbacks from internal boundaries and railway lines. 	<ul style="list-style-type: none"> a. Buildings shall not be: <ul style="list-style-type: none"> i. moved to within 1 metre of an internal boundary and/or within 3 metres of any water body, scheduled tree, listed heritage item, areas listed as Sites of Ecological Significance (in Sub-chapter 9.1), Natural Landscapes, Features or Character (in Sub-chapter 9.2), or Sites of Ngai Tahu Cultural Significance (in Sub-chapter 9.5), any Council owned structure, archaeological site, or the coastal marine area; or ii. lifted to a height exceeding 3 metres above the applicable recession plane or height control. b. The building must be moved or lowered back to its original position, or a position compliant with the District Plan or consistent with a resource consent, within 12 weeks of the moving or lifting works having first commenced. c. In all cases of a building being moved or lifted, the owners/occupiers of land adjoining the sites shall be informed of the work at least seven days prior to the move or lift of the building occurring. The information provided shall include details of a contact person, details of the move or lift, and the duration of the move or lift. d. The Council's Resource Consents Manager shall be notified of the moving or lifting of the building at least seven days prior to

Activity		Activity specific standards
		the move or lift of the building occurring. The notification must include details of the lift or move, property address, contact details and intended start date.
P18	Relocation of a building	Nil
P19	Market gardens, community gardens, and garden allotments	
P20	<p>All permitted activities in the Commercial Local Zone—Rule 15.5.1.1, within an area identified for this purpose on an approved subdivision consent plan.</p> <p>(Proposed Plan Change 5B subject to Council Decision)</p>	<p>a. The area identified for commercial activities shall not exceed 2,000m² in gross floor area.</p> <p>b. Activities shall meet the following standards of the Commercial Local Zone:</p> <ul style="list-style-type: none"> i. Rule 15.5.2.1 Maximum building height ii. Rule 15.5.2.2 Building setback from road boundaries iii. Rule 15.5.2.3 Minimum building setback from residential zones iv. Rule 15.5.2.4 Sunlight and outlook with a residential zone v. Rule 15.5.2.5 Outdoor storage areas vi. Rule 15.5.2.6 Landscaping and trees vii. Rule 15.5.2.7 Water supply for fire fighting viii. Rule 15.5.2.8 Minimum building setback from railway corridor <p>The built form standards in Rule 14.12.2 do not apply (Plan Change 5D Council Decision)</p>
P21	All permitted activities in the Rural Urban Fringe Zone - Rule 17.5.1.1 Permitted activities	<p>a. Activities shall meet the following standards of the Rural Urban Fringe Zone:</p> <ul style="list-style-type: none"> i. Rule 17.5.2.2 Maximum building height ii. Rule 17.5.2.3 Minimum building setback from road boundaries iii. Rule 17.5.2.4 Minimum building setback from internal boundaries iv. Rule 17.5.2.6 Maximum site coverage <p>The built form standards in Rule 14.12.2 do not apply.</p>
P22	Show homes	<p>a. The hours of operation, when the site is open to visitors, clients, and deliveries, shall be limited to between the hours of:</p> <ul style="list-style-type: none"> i. 07:00 – 21:00 Monday to Friday; and

Activity		Activity specific standards
		ii. 08:00 – 19:00 Saturday, Sunday and public holidays.
P23	Reserves	Nil.
P24	Hosted visitor accommodation in a residential unit	<ul style="list-style-type: none"> a. A maximum of six guests shall be accommodated at any one time. b. The Council shall be notified in writing prior to commencement. c. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request. d. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.
P25	Visitor Accommodation in a Heritage Item	<ul style="list-style-type: none"> a. A permanent resident or manager/supervisor for the property shall be in residence on the site for the duration of any visitors' stays. b. A maximum of ten guests shall be accommodated at any one time. c. The Council shall be notified in writing prior to commencement. d. The owner of the unit shall keep records of the number of nights booked per year, as commencing on 1 January of that year, and the dates used for hosted visitor accommodation and provide those records to the Council on request. e. The owner of the unit shall have procedures in place for managing adverse effects on neighbours from guests checking-in between the hours of 22.00pm and 06.00am, and shall provide those procedures to the Council on request.

(Plan Change 4 Council Decision subject to appeal)

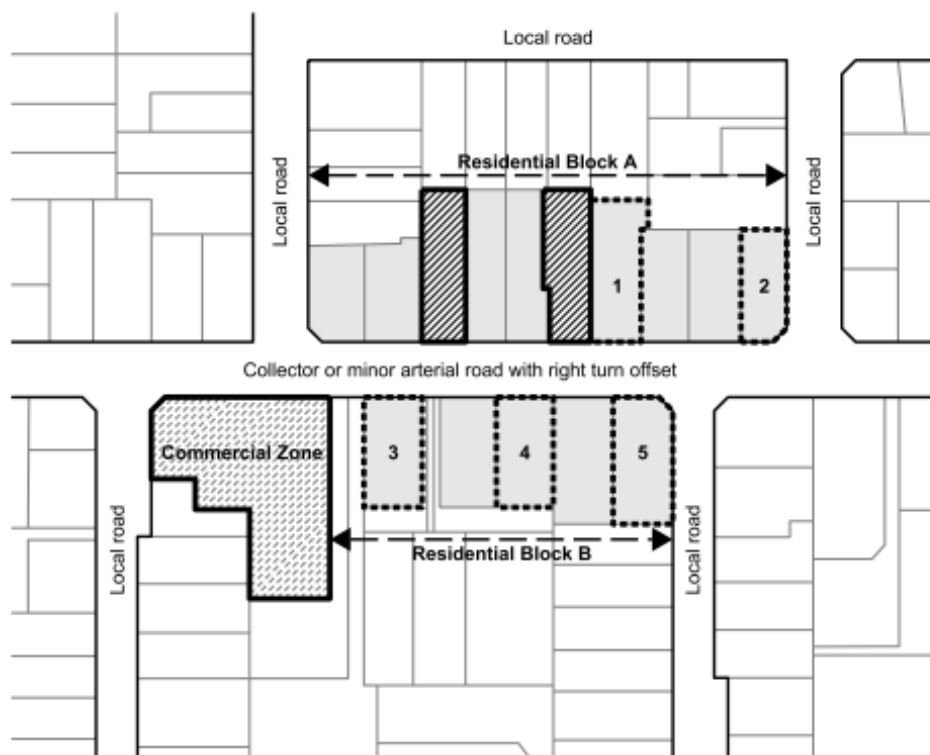


Figure 1: Residential Coherence

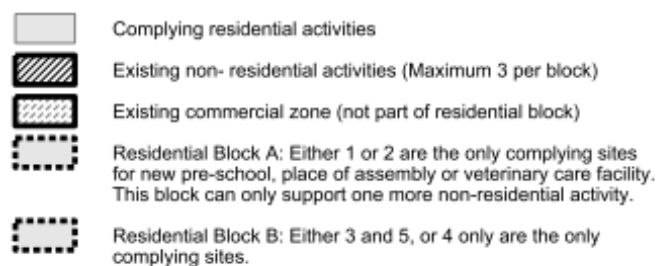


Figure 1: Residential coherence

14.12.1.2 Controlled activities

- a. The activities listed below are controlled activities.
- b. Unless otherwise specified, any application arising from the controlled activity rules listed below shall not be limited or publicly notified.
- c. Discretion to impose conditions is restricted to the matters of control set out in Rule [14.15](#), as set out in the following table.

Activity		The matters over which Council reserves its control:
C1	Retirement villages that meet all applicable built form standards in Rule 14.12.2	<ul style="list-style-type: none"> a. Retirement villages - Rule 14.15.9 b. Within Area 5 in Appendix 8.10.30 East Papanui Outline Development Plan, Retirement villages shall also be subject to matters of control b. and c. specified under Rule 14.12.1.2 C7.
C2	Comprehensive residential development that meet all applicable built form standards in Rule 14.12.2	<ul style="list-style-type: none"> a. Comprehensive residential development in the Residential New Neighbourhood Future Urban Zone - Rule 14.15.36 b. Within Area 5 in Appendix 8.10.30 East Papanui Outline Development Plan, Comprehensive residential development shall also be subject to matters of control b. and c. specified under Rule 14.12.1.2 C7.
C3	<ul style="list-style-type: none"> a. Development of the sites marked as controlled within the Awatea Outline Development Plan area in Appendix 8.10.14 – Tangata whenua layer where: <ul style="list-style-type: none"> i. a cultural assessment has been supplied with a resource consent application; and ii. the development meets all built form standards in Rule 14.12.2. 	<ul style="list-style-type: none"> a. Matters arising from consultation undertaken with tangata whenua representatives in the design phase of the works and preparation of the cultural assessment b. The means of incorporating the findings of the cultural assessment in the design and implementation of the works c. The development requirements set out in the Awatea Outline Development Plan in Appendix 8.10.14.
C4	Residential units (including any sleep-outs) containing more than six bedrooms in total.	<ul style="list-style-type: none"> a. Scale and nature of activity – Rule 14.15.5 b. Traffic generation and access safety – Rule 14.15.6 c. Within Area 5 in Appendix 8.10.30 East Papanui Outline Development Plan, Comprehensive residential development shall also be subject to matters of control b. and c. specified under Rule 14.12.1.2 C7. <p>(Plan Change 5D Council Decision)</p>

Activity	The matters over which Council reserves its control:
<p>C5</p> <p>a. Activities and buildings that do not meet any one or more of the following Rules in 14.12.2:</p> <ul style="list-style-type: none"> i. Rule 14.12.2.7 - Landscaping ii. Rule 14.12.2.8 – Fencing in the road boundary setback iii. Rule 14.12.2.12 - Ground floor habitable space and overlooking of street 	<p>a. Street scene – road boundary, building setback, fencing and planting – Rule 14.15.17</p>
<p>C6</p> <p>Activities and buildings that do not meet Rule 14.12.2.13 – Service, storage and waste management space.</p>	<p>a. Service, storage and waste management spaces – Rule 14.15.19</p>
<p>C7</p> <p>a. Any activity listed in Rule 14.12.1.1 that meets all applicable built form standards in Rule 14.12.2 and is located within Area 5 in Appendix 8.10.30 East Papanui Outline Development Plan, other than the following activities:</p> <ul style="list-style-type: none"> i. P5 (Home occupation); ii. P6 (Care of non-resident children); iii. P7 (Bed and breakfast); iv. P17 (Temporary lifting or moving of earthquake damaged buildings); v. P19 (Market gardens, community gardens and garden allotments); and vi. P21 (limited to rural productive activities, other than new buildings or additions to existing buildings, which are permitted activities in the Rural Urban Fringe Zone) – Rule 17.5.1.1). 	<p>a. As they relate to the activity and associated development:</p> <ul style="list-style-type: none"> i. Residential Design Principles – Rule 14.15.1; ii. The matters set out in Appendix 8.10.30.C; iii. Whether the development is exemplary including whether it: <ul style="list-style-type: none"> A. provides for neighbourhood design that supports the principles of universal access; and B. results in Lifemark 3© as a minimum standard for residential buildings or is of a proven equivalent; and C. results in Homestar 6© as a minimum standard for residential buildings or is of a proven equivalent; and D. demonstrates diversity in building and unit typology as well as providing for affordable housing and

Activity	The matters over which Council reserves its control:
	<p>E. demonstrates innovation in the neighbourhood layout, building design and technologies utilised.</p>
<p>C8 Unhosted visitor accommodation in a residential unit:</p> <ul style="list-style-type: none"> a. for a total per site of 60 nights or fewer per year; b. for a maximum of six guests at any one time. 	<ul style="list-style-type: none"> a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles f. Building access arrangements and wayfinding g. Controls on the effects and scale of functions or events h. Controls on check-in and check-out times.
<p>C9 Visitor accommodation in a heritage item that does not comply with activity specific standard (a) in Rule 14.12.1.1 P25.</p>	<ul style="list-style-type: none"> a. Provision of information for neighbours and guests, including contact information, parking restrictions, and, where appropriate, hazards information b. Record keeping and provision of information to the Council c. Management of outdoor entertainment and recreation facilities d. Management of solid waste disposal e. Number and size of vehicles used by guests including large vehicles f. Building access arrangements and wayfinding g. Controls on the effects and scale of functions or events

Activity		The matters over which Council reserves its control:
		h. Controls on check-in and check-out times

(Plan Change 4 Council Decision subject to appeal)

14.12.1.3 Restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.15, or as otherwise specified, as set out in the following table.
- c. Within Area 5 in Appendix 8.10.30 East Papanui Outline Development Plan, any restricted discretionary activity shall also be subject to the matters of discretion specified under Rule 14.12.1.2 C7 (matters of control to be treated as matters of discretion).

Activity		The Council's discretion shall be limited to the following matters:
RD1	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing 7 to 9 bedrooms.	a. Scale and nature of activity – Rule 14.15.5 (Plan Change 5D Council Decision)
RD2	Activities and buildings that do not meet Rule 14.12.2.16 - Outline development plan	a. Outline development plan - Rule 14.15.35
RD3	Retirement villages that do not meet any one or more of the built form standards in Rule 14.12.2	a. Retirement villages - Rule 14.15.9
RD4	a. Convenience activities where: <ol style="list-style-type: none"> i. the site is located on the corner of a minor arterial road that intersects with either a minor arterial road or collector road; ii. the total area occupied by retailing on the site is no more than 50m² public floor area; iii. the activity does not include the sale of alcohol; iv. signage is limited to no more than 2m² and shall be within the road boundary setback; v. the hours of operation when the site is open to business visitors or clients are limited to between the hours of 07:00– 	a. Residential design principles - Rule 14.15.1 b. Scale and nature of activity – Rule 14.15.5 c. Non-residential hours of operation – Rule 14.15.21 d. Traffic generation and access safety – Rule 14.15.6 (Plan Change 5D Council Decision)

Activity		The Council's discretion shall be limited to the following matters:
	<p>22:00 Monday to Sunday and public holidays; and</p> <p>vi. there is no provision of on-site parking area for visitors or service purposes.</p>	
RD5	<p>a. Comprehensive residential development that does not meet any one or more of the built form standards in Rule 14.12.2.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Comprehensive residential development in the Residential New Neighbourhood Future Urban Zone – Rule 14.15.36</p>
RD6	Buildings that do not meet Rule 14.12.2.1 – Building height.	<p>a. Impacts on neighbouring property – Rule 14.15.3</p>
RD7	Buildings that do not meet Rule 14.12.2.4 – Daylight recession plane.	<p>a. Impacts on neighbouring property – Rule 14.15.3</p>
RD8	<p>a. Activities and buildings that do not meet Rule 14.12.2.2 - Site coverage.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Site density and coverage – Rule 14.15.2</p>
RD9	<p>a. Residential units that do not meet Rule 14.12.2.3 - Outdoor living space.</p> <p>b. Any application arising from this rule shall not be publicly or limited notified.</p>	<p>a. Outdoor living space – Rule 14.15.20</p>
RD10	<p>a. Activities and buildings that do not meet any one or more of the following Rules in 14.12.2:</p> <p>i. Rule 14.12.2.9 - Parking areas</p> <p>ii. Rule 14.12.2.10 - Garages</p> <p>b. Any application arising from this rule shall not be publicly or limited notified.</p>	<p>a. Street scene – road boundary, building setback, fencing and planting – Rule 14.15.17</p>
RD11	<p>a. Activities and buildings that do not meet Rule 14.12.2.14 - minimum unit size</p> <p>b. Any application arising from this rule shall not be publicly or limited notified.</p>	<p>a. Minimum unit size – Rule 14.15.4</p>
RD12	Buildings that do not meet Rule 14.12.2.5 - Setback from internal boundaries and railway lines (other than Rule 14.12.2.5(vi) – refer to Rule 14.12.1.3 RD13)	<p>a. Impacts on neighbouring property – Rule 14.15.3</p> <p>b. Minimum building window and balcony setbacks – Rule 14.15.18</p>
RD13	Buildings that do not meet Rule 14.12.2.5(vi) relating to rail corridor boundary setbacks.	<p>a. Whether the reduced setback from the rail corridor will enable buildings</p>

Activity		The Council's discretion shall be limited to the following matters:
		to be maintained without requiring access above, over or on the rail corridor.
RD14	a. Buildings that do not meet Rule 14.12.2.11 - Road boundary building setback. b. Any application arising from this rule shall not be publicly or limited notified.	a. Street scene – road boundary, building setback, fencing and planting – Rule 14.15.17
RD15	a. Residential units that do not meet Rule 14.12.2.15 – Water supply for firefighting. b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to the New Zealand Fire Service (absent written approval).	a. Water supply for fire fighting – Rule 14.15.7
RD16	a. Activities and buildings that do not meet any one or more of the activity specific standards in Rule 14.12.1.1 (except for P8 to P10 activity standard ix. relating to noise sensitive activities in the 50 ^{dB L_{dn}} Air Noise Contour refer to RD26; or P8 to P12 activity standard x. relating to storage of heavy vehicles refer to Rule 14.12.1.4 D2) for: <ul style="list-style-type: none"> i. P5 Home occupations: <ul style="list-style-type: none"> A. that do not meet standard a. and occupy a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area, no greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings; B. that do not meet one or more of standards b. to h. ii. P8 Education activity iii. P9 Preschool, other than as provided for in Rule 14.12.1.1 P6 and Rule 14.12.1.4 D2; iv. P10 Health care facility; 	a. As relevant to the activity specific standard that is not met: <ul style="list-style-type: none"> i. Scale and nature of activity – Rule 14.15.5 ii. Traffic generation and access safety – Rule 14.15.6 iii. Non-residential hours of operation – Rule 14.15.21 (Plan Change 5D Council Decision)

Activity		The Council's discretion shall be limited to the following matters:
	<p>v. P11 Veterinary care facility.</p> <p>b. Any application arising from this rule shall not be publicly or limited notified.</p> <p>(Plan Change 5D Council Decision)</p>	
RD17	<p>a. Integrated family health centres where:</p> <ul style="list-style-type: none"> i. the centre is located on sites with frontage and the primary entrance to a minor arterial road or collector road where right turn offset, either informal or formal is available; ii. the centre is located on sites adjoining a Neighbourhood centre, District centre or Key activity centre; iii. the centre occupies a gross floor area of building of between 301m² and 700m²; iv. signage is limited to a maximum area of 2m²; and v. the hours of operation when the site is open to patients, or clients, and deliveries is limited to between the hours of 07:00–21:00. 	<p>a. Scale and nature of activity - Rule 14.15.5</p> <p>b. Traffic generation and access safety - Rule 14.15.6</p> <p>c. Non-residential hours of operation - Rule 14.15.21</p> <p>(Plan Change 5D Council Decision)</p>
RD18	<p>a. Community corrections facility and community welfare facilities that do not meet any one or more of the activity specific standards in Rule 14.12.1.1 P14 or P15.</p> <p>b. Any application arising from this rule shall not be publicly or limited notified.</p>	<p>a. As relevant to the activity specific standard that is not met:</p> <ul style="list-style-type: none"> i. Scale and nature of activity – Rule 14.15.5 ii. Traffic generation and access safety – Rule 14.15.6 iii. Non-residential hours of operation – Rule 14.15.21 <p>(Plan Change 5D Council Decision)</p>
RD19	Boarding house	<p>a. Scale and nature of activity - Rule 14.15.5</p> <p>b. Traffic generation and access safety - Rule 14.15.6</p> <p>(Plan Change 5D Council Decision)</p>

Activity		The Council's discretion shall be limited to the following matters:
RD20	<p>a. Spiritual activities that do not meet the hours of operation in Rule 14.12.1.1 P13.</p> <p>b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to directly abutting land owners and occupiers (absent written approval).</p>	<p>a. Non-residential hours of operation – Rule 14.15.21</p>
RD21	Development of the sites marked as controlled within the Awatea Outline Development Plan - Tangata Whenua layer diagram, where no cultural assessment has been supplied with resource consent application.	<p>a. Matters arising from consultation undertaken with tangata whenua representatives and any written approval obtained in the design phase of the works.</p> <p>b. Whether appropriate recognition has been given to the development requirements set out in the Awatea Outline Development Plan.</p>
RD22	<p>In locations to which Rule 14.12.1.1 P20 applies, activities and buildings that are permitted activities in the Local Commercial Zone but do not meet any one or more of the activity specific standards specified in Rule 14.12.1.1 P20.</p> <p>(Plan Change 5D Council Decision)</p>	<p>a. Impacts on neighbouring property – Rule 14.15.3</p> <p>b. Scale and nature of activity – Rule 14.15.5</p> <p>c. Traffic generation and access safety – Rule 14.15.6</p> <p>d. Non-residential hours of operation – Rule 14.15.21</p> <p>(Plan Change 5D Council Decision)</p>
RD23	Activities and buildings that are permitted activities in the Rural Urban Fringe Zone but do not meet any one or more of the activity specific standards specified in Rule 14.12.1.1 P21	<p>a. Whether appropriate recognition has been given to the development requirements set out in the relevant Outline development plan and adverse effect of the rural activity on achieving the development requirements in the future.</p>
RD24	Show homes that do not meet Rule 14.12.1.1 P22	<p>a. Non-residential hours of operation – Rule 14.15.21</p>
RD25	Older person's housing units that do not meet the activity specific standard in Rule 14.12.1.1 P4	<p>a. Scale and nature of activity - Rule 14.15.5</p> <p>(Plan Change 5D Council Decision)</p>
RD26	<p>a. The following activities located within the 50 dB Ldn Air Noise Contour as shown on the Planning Maps:</p>	<p>a. The extent to which effects, as a result of the sensitivity of activities to current and future noise</p>

Activity		The Council's discretion shall be limited to the following matters:
	<ul style="list-style-type: none"> i. Residential activities which are not provided for as a permitted or controlled activity; ii. Education activities (Rule 14.12.2.1 P8); iii. Preschool (Rule 14.12.2.1 P9); or iv. Health care facilities (Rule 14.12.2.1 P10); v. Visitor accommodation in a heritage item Rule 14.12.1.1 P25). <p>b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Christchurch International Airport Limited (absent its written approval).</p>	generation from aircraft, are proposed to be managed, including avoidance of any effect that may limit the operation, maintenance or upgrade of Christchurch International Airport.
RD27	Buildings that do not meet Rule 14.12.2.6 – Minimum setback and distance to living area windows and balconies.	a. Impacts on neighbouring property – Rule 14.15.3.

14.12.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

Activity	
D1	Any activity not provided for as a permitted, controlled, restricted discretionary, non-complying or prohibited activity
D2	<p>a. Activities that do not meet any one or more of the activity specific standards in Rule 14.12.1.1 for:</p> <ul style="list-style-type: none"> i. P1 Residential activity; ii. P6 Care of non-resident children in a residential unit; iii. P7 Bed and breakfast; iv. P12 Places of assembly; or v. Storage of more than one heavy vehicle for P8-P11 and P13.
D3	Student hostels owned or operated by a secondary education activity or tertiary education and research activity containing more than 10 bedrooms
D4	Integrated family health centres which do not meet any one of more of the requirements specified in Rule 14.12.1.3 RD17.

Activity	
D5	<p>a. Hosted visitor accommodation that does not comply with activity specific standards in Rule 14.12.1.1 P24 and that does not exceed twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D6	<p>a. Unhosted visitor accommodation that does not comply with Rule 14.12.1.2 C8 and that does not exceed twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D7	<p>a. Visitor accommodation in a heritage item that does not comply with activity specific standards (b) – (e) in Rule 14.12.1.1 P25 and that does not exceed twenty guests per site at any one time</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D8	<u>Home occupation with a total area, comprising the floor area of the building or part of the building (measured internally) and any outdoor storage area occupied, greater than 40% of the GFA of the residential unit, with the GFA calculation excluding detached accessory buildings.</u>

(Plan Change 4 Council Decision subject to appeal)

(Plan Change 5D Council Decision)

14.12.1.5 Non-complying activities

- a. The activities listed below are non-complying activities.

Activity	
NC1	<p>a. Sensitive activities and buildings (excluding accessory buildings associated with an existing activity):</p> <ol style="list-style-type: none"> within 12 metres of the centre line of a 110kV or 220kV National Grid transmission line or within 12 metres of the foundation of an associated support structure; or within 10 metres of the centre line of a 66kV National Grid transmission line or within 10 metres of a foundation of an associated support structure; or <p>b. Fences within 5 metres of a National Grid transmission line support structure foundation.</p> <p>c. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Transpower New Zealand Limited (absent written approval).</p> <p>Advice note:</p> <ol style="list-style-type: none"> The National Grid transmission lines are shown on the planning maps. Vegetation to be planted around the National Grid should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards

Activity	
	<p>from Trees) Regulations 2003.</p> <p>3. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to National Grid transmission lines. Buildings and activity in the vicinity of National Grid transmission lines must comply with NZECP 34:2001.</p>
NC2	<p>a. Sensitive activities and buildings (excluding accessory buildings associated with an existing activity):</p> <ol style="list-style-type: none"> within 10 metres of the centre line of a 66kV electricity distribution line or within 10 metres of a foundation of an associated support structure; within 5 metres of the centre line of a 33kV electricity distribution line or within 5 metres of a foundation of an associated support structure; or within 5 metres of the centre line of the 11kV Heathcote to Lyttelton electricity distribution line (except that this shall not apply to any underground sections) or within 5 metres of a foundation of an associated support structure. <p>b. Fences within 5 metres of a 66kV, 33kV and the 11kV Heathcote to Lyttelton electricity distribution line support structure foundation.</p> <p>c. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Orion New Zealand Limited or other electricity distribution network operator (absent written approval).</p> <p>Advice note:</p> <ol style="list-style-type: none"> The electricity distribution lines are shown on the planning maps. Vegetation to be planted around electricity distribution lines should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to electricity distribution lines. Buildings and activity in the vicinity of electricity distribution lines must comply with NZECP 34:2001.
NC3	<p>Within the Awatea Outline Development Plan Area 2, residential activity and residential units whilst the Christchurch Kart Club operates from its current Carrs Road location as illustrated on the Awatea Outline Development Plan.</p>
NC4	<p>Quarrying activity</p>
NC5	<p>a. Visitor accommodation that is:</p> <ol style="list-style-type: none"> not hosted visitor accommodation, unhosted visitor accommodation or visitor accommodation in a heritage item; hosted visitor accommodation that exceeds the maximum number of guests in Rule 14.12.1.4 D5; unhosted visitor accommodation that exceeds the maximum number of guests in Rule 14.12.1.4 D6; or

Activity	
	iv. visitor accommodation in a heritage item that exceeds the maximum number of guests in Rule 14.12.1.4 D7.
	b. Any application arising from this rule shall not be publicly notified but may be limited notified.

(Plan Change 4 Council Decision subject to appeal)

14.12.1.6 Prohibited activities

There are no prohibited activities.

14.12.2 Built form standards

14.12.2.1 Building height

- a. The maximum height of any building shall be:

	Applicable to	Standard
i.	All buildings except as specified below.	8 metres
ii.	Comprehensive residential development on any site that meets Rule 14.12.2.17, except where a different maximum height is specified in the areas in (4) or (5) below and within Area 5 in the East Papanui Outline Development Plan area (Appendix 8.10.30).	11 metres
iii.	Retirement villages, except where a different maximum height is specified in the areas in (4) or (5) below and within Area 5 in the East Papanui Outline Development Plan area (Appendix 8.10.30).	11 metres
iv.	Within the Prestons Outline Development Plan area (Appendix 8.10.25), in Density A and B areas defined in the outline development plan or on an approved subdivision consent granted before 15 July 2016. A. Density A B. Density B	11 metres 10 metres
v.	Within the Wigram Outline Development Plan area (Appendix 8.10.29), in Density A and B areas defined in the outline development plan or on an approved subdivision consent granted before 15 July 2016. A. Density A B. Density B	13 metres 9 metres
vi.	Within the Valdhurst Outline Development Plan area (Appendix 8.10.28) on an approved subdivision consent granted before 15 July 2016.	11 metres

14.12.2.2 Site coverage

- a. The maximum percentage of the net site area covered by buildings shall be as follows:

	Applicable to	Standard
i.	Sites with a net site area of 300m ² and over, except as specified below.	40%
ii.	Sites with a net site area of under 300m ² , except as specified below.	45%
iii.	Comprehensive residential development on any site that does not meet Rule 14.12.2.17 Comprehensive residential development – development site area.	45%
iv.	Comprehensive residential development on any site that meets Rule 14.12.2.17 Comprehensive residential development – development site area. The percentage coverage by buildings is to be calculated over the net site area of the entire development, rather than over the net area of any part of the development.	50%
v.	Retirement villages The percentage coverage by buildings is to be calculated over the net site area of the entire development, rather than over the net area of any part of the development.	50%
vi.	Within the Prestons Outline Development Plan area (Appendix 8.10.25), in Density A and B areas defined in the outline development plan: A. Density A B. Density B	80% 60%
vii.	Within the Wigram Outline Development Plan area (Appendix 8.10.29), in Density A and B areas defined in the outline development plan: A. Density A B. Density B	80% 60%
viii.	Within the Valdhurst Outline Development Plan area (Appendix 8.10.28), in Density A and B areas as shown on an approved subdivision consent plan granted before 15 July 2016.	60%
ix.	Within the Valdhurst Outline Development Plan area (Appendix 8.10.28), in medium density areas as shown on an approved subdivision consent plan granted before 15 July 2016.	45%

b. For the purpose of this rule this excludes:

- i. Fences walls and retaining walls;
- ii. Eaves and roof overhangs up to 600 millimetres in width and guttering up to 200mm in width from the wall of a **building**;
- iii. Uncovered swimming pools up to 800 millimetres in **height** above **ground level**; and/or
- iv. Decks, terraces, **balconies**, porches, verandahs, bay or box windows (supported or cantilevered) which:
 - A. are no more than 800 millimetres above **ground level** and are uncovered or unroofed; or

- B. where greater than 800 millimetres above **ground level** and are covered or roofed, are in total no more than 6m² in area for any one **site**;

14.12.2.3 Outdoor living space

- a. **Accessible outdoor living space** shall be provided on site for each **residential unit**, and can be a mix of private and communal areas, at **ground level** or provided by way of above ground **balconies**, and shall meet the following areas and dimensions:

	Activity/Area	Standard		
		A. Minimum total area	B. Minimum private area	C. Minimum dimension
i.	Residential units (two bedrooms or more).	30m ²	16m ²	4 metres for a private ground floor space or communal space
ii.	One bedroom or studio units on the ground floor	16m ²	16m ²	4 metres for a private ground floor space or communal space
iii.	One bedroom or studio units on the first floor or above	16m ²	6m ²	1.5 metres for balconies 4 metres for a private ground floor space or communal space

- b. **Outdoor living space** shall not be encumbered by **parking areas** or **access** arrangements.
- c. At least one private outdoor living space shall be accessible from a living area of the residential unit.
- d. This rule does not apply to a **retirement village** or a comprehensive residential development.

14.12.2.4 Daylight recession plane

- a. **Buildings** shall not project beyond a **building** envelope constructed by recession planes (as shown in **Appendix 14.16.2** Diagram C), from points 2.3 metres above:
- internal **boundaries**; or
 - where an internal **boundary** of a **site** abuts an **access allotment** or **access strip** the recession plane may be constructed from points 2.3 metres above the furthest **boundary** of the **access allotment** or **access strip** or any combination of these areas; or
 - where **buildings** on **adjoining sites** have a common wall along an internal **boundary** the recession planes will not apply along that part of the **boundary** covered by such a wall.
 - ~~Except, **buildings on sites** in the Density A and B area shown on an approved **subdivision** consent plan granted before 15 July 2016 in the Valdhurst Outline~~

~~Development Plan Appendix 8.10.28 is to calculate recession planes as shown in Appendix 14.16.2 Diagram D.~~

- b. Where the building is located in an overlay that has a permitted height of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.
- c. Where the building is located in a Flood Management Area, the exemptions in Rule 5.4.1.3 apply (for activities in P1-P4 in Table 5.4.1.1b).

Advice note:

1. Refer to Appendix 14.16.2 for permitted intrusions

14.12.2.5 Minimum building setbacks from internal boundaries and railway lines

- a. The minimum building setback from internal boundaries shall be as follows:

	Activity / area	Standard
i.	All buildings not listed below	1 metre
ii.	Where residential buildings on adjoining sites have a ground floor window of a habitable space located within 1.8 metres of the common internal boundary. Except for Density A and B sites shown on an approved subdivision consent plan granted before 15 July 2016 in the Valdhurst Outline Development Plan Appendix 8.10.28.	1.8 metre from neighbouring window for a minimum length of 2 metres either side of the window. This rule also applies to accessory buildings.
iii.	All other accessory buildings where the total length of walls or parts of the accessory buildings within 1 metre of each internal boundary does not exceed 10.1 metres in length	Nil
iv.	Buildings that share a common wall along an internal boundary	Nil
v.	All other buildings where the internal boundary of the site adjoins an access or part of an access	1 metre
vi.	Buildings, balconies and decks on sites adjacent or abutting a designated rail corridor,	4 metres from the rail corridor boundary
vii.	Additional setbacks are required from specified internal boundaries in the Prestons Outline Development Plan.	Refer to Prestons Outline Development Plan

- b. ~~The above setbacks do not apply to the sites shown on an approved subdivision consent plan granted before 15 July 2016 in the Valdhurst Outline Development Plan Appendix 8.10.28, unless a residential unit constructed on these sites is demolished and rebuilt.~~

- c. For a **retirement village** or a **comprehensive residential development**, this rule applies only to the internal **boundaries** on the perimeter of the entire development.
- d. For the purposes of this rule, this excludes guttering up to 200mm in width from the wall of a **building**.

14.12.2.6 Minimum setback and distance to living area windows and balconies

- a. The minimum **setback** from an internal **boundary** for a **living area window**, including studio units, shall be 3 metres (and 4 metres for **living area windows** and **balconies** on floors above ground level).
- b. For a **retirement village** or a **comprehensive residential development**, this rule applies only to the internal **boundaries** on the perimeter of the entire development.

14.12.2.7 Landscaping

- a. The full length of the **road** frontage not used as vehicle or pedestrian **access**, shall be landscaped to a minimum depth of 2 metres measured from the **road frontage**.
- b. **Landscaping** shall be provided in specified areas within the:
 - i. ~~Prestons Outline Development Plan area in accordance with **Appendix 8.10.25** narrative section 1; and~~
 - ii. Highfield Outline Development Plan area in accordance with **Appendix 8.10.26** narrative section 8.
- c. This rule does not apply to a **comprehensive residential development**.

14.12.2.8 Fencing in the road boundary setback

- a. The maximum **height** of any fence in the required **building setback** from a **road boundary** shall be 1.2 metres.
- b. This rule does not apply to fences or other screening structures located on an internal **boundary** between two properties zoned residential, or residential and commercial or industrial.
- c. For the purposes of this rule, a fence or other screening structure is not the exterior wall of a **building** or **accessory building**.
- d. ~~Within the Prestons Outline Development Plan area (**Appendix 8.10.25**), clause (a) shall apply except that the maximum **height** of any fence shall not exceed 2 metres where the fence is at least 50% transparent.~~
- e. ~~Additional fencing requirements in the Prestons Outline Development Plan area are specified in **Appendix 8.10.25** narrative section 1.~~
- f. This rule does not apply to a **comprehensive residential development**.

14.12.2.9 Parking areas

- a. **Parking areas** shall be separated from **adjoining roads** by either planting, fences, or a combination thereof. The standards in Rules [14.12.2.7 \(Landscaping\)](#) and [14.12.2.8 \(Fencing in the road boundary setback\)](#) apply.
- b. This rule does not apply to a **retirement village** or a **comprehensive residential development**.

14.12.2.10 Garages

- a. **Garages** shall not comprise more than 50% of the ground floor elevation viewed from any one **road boundary** on any one **site** and shall not be more than 6.5 metres wide (excluding eaves up to 600mm in width). For **garages** with the vehicle door generally facing a shared **access** or **road boundary** the minimum **garage setback** shall be 5.5 metres from the shared **access** (not including **access allotments**) or **road boundary**.
- ~~b. This rule does not apply to **sites** shown on **subdivision** approval plans RMA92029514 in the **Yaldhurst Outline Development Plan Appendix 8.10.28**, unless a **residential unit** constructed on these **sites** is demolished and rebuilt.~~
- c. This rule does not apply to a **retirement village** or a **comprehensive residential development**.

14.12.2.11 Road boundary building setback

- a. The minimum **building setback** from **road boundaries** shall be 4 metres except where b or c applies.
- ~~b. The minimum **building setback** from **road boundaries** shall be 3 metres on any **site** within the **Prestons Outline Development Plan area (Appendix 8.10.25)** or **Yaldhurst Outline Development Plan (Appendix 8.10.28)**.~~
- ~~c. The minimum **building setback** from **road boundaries** shall be 2 metres on any **site** in **Density A areas** within the **Wigram Outline Development Plan area (Appendix 8.10.29)**.~~
- d. This rule does not apply to a **comprehensive residential development**.

14.12.2.12 Ground floor habitable space and overlooking of street

- a. The ground floor of a **residential unit** shall have a **habitable space** with a **window** area of at least 2m² facing the **road boundary**.
- b. This rule does not apply to a **retirement village** or a **comprehensive residential development**.

14.12.2.13 Service, storage and waste management spaces

- a. For multi-unit residential complexes and social housing complexes only:
 - i. each **residential unit** shall be provided with at least 2.25 m², with a minimum dimension of 1.5 metres, of outdoor or indoor space at ground floor level for the dedicated storage of waste and recycling bins;

- ii. each **residential unit** shall be provided with at least 3 m², with a minimum dimension of 1.5 metres, of outdoor space at ground floor level for washing lines; and
 - iii. the required spaces in i. and/or ii. for each **residential unit** shall be provided either individually, or within a dedicated shared communal space.
- b. This rule does not apply to a **retirement village**, a **comprehensive residential development** or to a **residential unit** constructed as at 15 July 2016.

14.12.2.14 Minimum unit size

- a. The minimum **net floor area** (including toilets and bathrooms, but excluding **parking areas**, **garages** or **balconies**) for any **residential unit** shall be as follows:

	Number of bedrooms	Standard
i.	Studio	35m ²
ii.	1 bedroom	45m ²
iii.	2 bedrooms	60m ²
iv.	3 or more bedrooms	90m ²

- b. This rule does not apply to residential units in a retirement village or a comprehensive residential development.

14.12.2.15 Water supply for fire fighting

- a. Sufficient water supply and access to water supplies for fire fighting shall be made available to all **residential units** via **Council's** urban fully reticulated system and in accordance with the [New Zealand Fire Service Fire Fighting Water Supplies Code of Practice \(SNZ PAS:4509:2008\)](#).

14.12.2.16 Outline development plan

- a. Any activity shall be in accordance with the development requirements in a relevant **Outline development plan**.

14.12.2.17 Comprehensive residential developments – development site area

- a. The minimum area of any **comprehensive residential development site** shall be 6000m².

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in **green** font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in **purple** is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in **blue** font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

14.15 Rules – Matters of control and discretion

- a. When considering applications for controlled activities, the **Council's** power to impose conditions on the consent is restricted to the matters over which control is reserved in the relevant rule and as set out for that matter below.
- b. When considering applications for restricted discretionary activities, the **Council's** power to decline consent, or to grant consent and impose conditions, is restricted to the matters over which discretion is restricted in the relevant rule and as set out for that matter below.

14.15.1 Residential design principles

- a. New developments shall be assessed against the seven residential design principles c.-i. set out below. Each residential design principle is accompanied by relevant considerations which are a guide to applicants and consent officers when considering an application against the residential design principles themselves.
- b. The relevance of the considerations under each residential design principle will vary from **site** to **site** and, in some circumstances, some of the considerations may ~~**not**~~ be ~~**less**~~ relevant ~~**at all**~~. For example, c.ii. is likely to be highly relevant to a development adjacent to **heritage items**; whereas c.ii. might be less relevant to a development in an area void of **heritage items**.
- c. ~~**City context and character**~~ **Site layout and context:**
 - i. ~~**Whether the design of the development is in keeping with, or complements, the scale and character of development anticipated for the surrounding area and relevant significant natural, heritage and cultural features**~~ **Whether the development achieves high quality design through a logical and coherent site layout that prioritises the street interface, a public frontage for each unit, and a high quality of access to the street.**
 - ii. The relevant considerations ~~**are**~~ **include** the extent to which the development:

- A. ~~includes, where relevant, reference to the patterns of development in and/or anticipated for the surrounding area such as building dimensions, forms, setbacks and alignments, and secondarily materials, design features and tree plantings; and~~
 - B. prioritises a site layout that provides a safe and attractive access to units including entrances to attached dwellings and apartment buildings;
 - C. achieves good on-site residential amenity and a positive street interface;
 - D. minimises the need for tall fencing at street and accessway boundaries;
 - E. provides space for planting and trees in communal areas, adjacent to accessways and at the street front; and
 - F. for larger sites, provides connections (and potential future connections) through the site for the public; and
 - G. retains or adapts ~~features of the site that contribute significantly to local neighbourhood character, potentially including existing~~ heritage items, Sites of Ngāi Tahu Cultural Significance identified in Appendix 9.5.6, site contours and mature trees.
 - d. Relationship to the street and public open spaces
 - i. Whether the development engages with and contributes to adjacent streets, on-site communal space, and any other adjacent public open spaces to contribute to them being lively, safe and attractive.
 - ii. The relevant considerations ~~are~~ include the extent to which the development:
 - A. ~~orientates building frontages including entrances and windows to habitable rooms~~ orientates building frontages, including public entrances and windows to habitable rooms, toward the street and adjacent public open spaces;
 - B. designs buildings on corner sites to emphasise the corner; and
 - C. ~~avoids street facades that are blank or dominated by garages~~ locates habitable rooms on the ground floor, with windows facing towards, and visible from, the street and accessway.
 - e. Built form and appearance
 - i. Whether the development is designed to ~~manage~~ minimise the visual bulk of the buildings and provide visual interest.
 - ii. The relevant considerations ~~are~~ include the extent to which the development:
 - A. ~~subdivides or otherwise separates unusually long or bulky building forms and limits the length of continuous rooflines~~ places building bulk at the street front and otherwise limits the continuous lengths of buildings and rooflines to avoid excessive building bulk or unusually long buildings;
 - B. ~~utilises variety of building form and/or variation in the alignment and placement of buildings to avoid monotony~~ provides adequate separation between adjacent buildings, particularly between longer building forms, such as terraced housing;

- C. avoids blank elevations and facades dominated by **garage** doors; ~~and~~
 - D. achieves visual interest and a sense of human scale through the use of architectural detailing, glazing and variation of materials; ~~and~~
 - E. **where higher than 14m, buildings have a defined base, middle and top and integrate any rooftop plant and servicing into the roof-form.**
- f. Residential amenity
- i. In relation to the built form and residential amenity of the development on the **site** (i.e. the overall site prior to the development), ~~whether how the development provides a high level of~~ internal and external residential amenity for occupants and neighbours **is provided.**
 - ii. The relevant considerations ~~are include~~ the extent to which the development:
 - A. provides for outlook, sunlight and privacy through the **site** layout, and orientation and internal layout of **residential units**;
 - B. directly connects private outdoor spaces to the **living spaces** within the **residential units**;
 - C. **for taller buildings over 14m, orients windows and balconies to face the street, public spaces or internally within the site, rather than towards internal site boundaries;**
 - D. ~~ensures any communal private open spaces are accessible, usable and attractive for the residents of the residential units~~ **provides communal outdoor living that:**
 - 1. **has attractive, high quality pedestrian access from each residential unit or shared lobby, and is centrally located in an accessible part of the site; and**
 - 2. **is usable and attractive for the residents, with good solar access and tree planting provided; and**
 - E. includes tree and garden planting ~~particularly visible from, and~~ relating to, the street frontage, **boundaries, access ways, and parking areas.**
- g. Access, parking and servicing
- i. Whether the development provides for good, **safe** access and integration of space for parking and servicing.
 - ii. The relevant considerations are the extent to which the development:
 - A. integrates access in a way that is safe **and comfortable** for all users, and offers **direct and** convenient access for pedestrians to the street, any nearby parks or other public recreation spaces;
 - B. **prioritises pedestrian access, ensuring adequate space for safe and comfortable passing for pedestrians, and offers direct and convenient access to the street and any adjoining public open space; and**

- C. when provides parking areas and garages where are provided, these are designed and located in a way that does not dominate the development, particularly when viewed from the street or other public open spaces; and
- ~~D. provides for suitable storage and service spaces which are conveniently accessible, safe and/or secure, and located and/or designed to minimise adverse effects on occupants, neighbours and public spaces.~~

h. Safety

- i. Whether the development incorporates Crime Prevention Through Environmental Design (CPTED) principles as required to achieve a safe, secure environment.
- ii. The relevant considerations are the extent to which the development:
 - A. provides for views over, and passive surveillance of, adjacent public and publicly accessible private open spaces, without compromising internal privacy;
 - B. clearly demarcates boundaries of public and private space;
 - C. promotes a sense of ownership of communal areas and front yards, planting areas and other transition spaces;
 - D. makes pedestrian entrances and routes readily recognisable and legible through clear and logical site layout; and
 - E. provides for good visibility with clear sightlines and effective lighting, avoiding tight bends, blind corners and entrapment spaces.

Advice note: Refer to NZS1158.3.1:2020 for guidance on effective lighting.

i. Hillside and small settlement areas

- i. Whether the development maintains or enhances the context and amenity of the area.
- ii. The relevant considerations are the extent to which the development:
 - A. maintains significant and distinctive landforms, geological features, water bodies and courses, indigenous and exotic vegetation, coastal margins and the habitat of indigenous fauna;
 - B. has regard to and protects historic heritage from inappropriate subdivision use and development, and recognizes the relationship of Ngāi Tahu mana whenua with their ancestral lands, water and other taonga, including Sites of Ngāi Tahu Cultural Significance identified in Appendix 9.5.6 and access to those sites and to mahinga kai;
 - C. is designed and located in a way that reduces dominance of buildings and structures;
 - D. incorporates environmentally sustainable and low impact subdivision, site and building design;
 - E. responds to the qualities that are distinct and unique to each small settlement; and
 - F. where appropriate and possible, maintains views from properties.

14.15.2 Site density and site coverage

- a. Whether the non-compliance is appropriate to its context taking into account:
- i. ~~whether the balance of open space and buildings will maintain the character anticipated for the zone~~ building dominance and privacy effects on surrounding properties;
 - ii. ~~any visual dominance of the street resulting from a proposed building's incompatible scale~~ the effect of the additional building bulk on the planned urban built character of the local environment;
 - iii. within the Medium Density Residential zone and High Density Residential zone only, whether additional landscaping above the 20% permitted standard is proposed;
 - iv. The ability to practically use onsite space unoccupied by buildings and accessways, including any impacts in terms of usability and amenity on any onsite ground floor outdoor living spaces and opportunities for planting;
 - v. The degree to which site layout and building design encourages a strong connection to the street and provides for a coherent street scene; and
 - vi. any loss of opportunities for views in the Residential Banks Peninsula Zone; ~~and~~
 - vii. ~~the proportion of the building scale in relation to the proportion of the site.~~
- b. Where the site is within the Akaroa Heritage Area, the matters set out in Rule 9.3.6.3.

14.15.3 Impacts on neighbouring property

- a. Whether the increased height, ~~or reduced setbacks, or recession plane intrusion~~ would result in buildings that do not compromise the ~~amenity of adjacent properties~~ planned urban built character. taking into account. The following matters of discretion apply:
- i. Building bulk and dominance effects on surrounding neighbours;
 - ii. Privacy and shading effects on surrounding neighbours, including on habitable rooms or outdoor living spaces;
 - iii. ~~The extent to which an increased height is necessary to enable more efficient, cost effective and/or practical use of the site, or the long term protection of significant trees or natural features on the site;~~
 - iv. Modulation or design features of the roof-form to reduce its visual impact;
 - v. Whether the majority of the ground floor area is occupied by habitable rooms and/or indoor communal living space (this area may include pedestrian access to lifts, stairs and foyers);
 - vi. Impacts on the heritage values of adjoining properties; and
 - vii. For height breaches only:

- A. the location of the building in relation to existing or planned public transport corridors, community facilities, or commercial activities and the connectivity of the building to these facilities;
- B. The extent to which an increased height is necessary to enable more efficient, cost effective and/or practical use of the site, or the long term protection of significant trees or natural features on the site;
 - ~~i. overshadowing of adjoining sites resulting in reduced sunlight and daylight admission to internal living spaces and external living spaces beyond that anticipated by the recession plane, and where applicable the horizontal containment requirements for the zone;~~
 - ~~ii. any loss of privacy through being overlooked from neighbouring buildings;~~
 - ~~iii. whether development on the adjoining site, such as large building setbacks, location of outdoor living spaces, or separation by land used for vehicle access, reduces the need for protection of adjoining sites from overshadowing;~~
 - ~~iv. the ability to mitigate any adverse effects of increased height or recession plane breaches through increased separation distances between the building and adjoining sites, the provision of screening or any other methods; and~~
 - ~~v. within a Flood Management Area, whether the recession plane infringement is the minimum necessary in order to achieve the required minimum floor level.~~
- b. Where the site is within the Akaroa Heritage Area, the matters set out in Rule 9.3.6.3
- c. Within the Medium Density Residential zone, for buildings exceeding 14 metres in height, and within the High Density Residential zone, for buildings exceeding 32 metres in height, the matters of discretion are as follows:
 - i. The degree of alignment of the building with the planned urban character of the zone or applicable precinct;
 - ii. Building bulk and dominance effects on surrounding neighbours, particularly the effect on the relationship between buildings, public spaces, and views;
 - iii. The degree of privacy effects on surrounding neighbours, including on habitable rooms or outdoor living spaces;
 - iv. The degree of shading effects on surrounding neighbours, including the extent of impact on any habitable rooms or outdoor living spaces;
 - v. The extent to which the increased height is necessary to enable more efficient, cost effective and/or practical use of the site, or the long term protection of significant trees or natural features on the site;
 - vi. Any modulation or design features of the roof-form and façade to reduce its visual impact;
 - vii. Whether a minimum of 30% of the ground floor area is occupied by habitable rooms and/or indoor communal living space (including any shared pedestrian access to lifts, stairs and foyers);

- viii. The extent to which the development provides for greater housing choice, by typology or price point compared to existing or consented development within the surrounding area;
- ix. Whether the building is for the purposes of papakāinga / kāinga housing;
- x. The location of the development relative to current and planned public transport corridors, community facilities, or commercial activities and the connectivity of the development to these facilities;
- xi. How the proposal contributes to or provides for a sense of local identity or place making;
- xii. Residential Design Principles listed under 14.15.1.e (site layout and context) and 14.15.1.f (residential amenity);
- xiii. For any building greater than 20 metres in height, where any part of the building above 20 metres does not meet the standards below, the effect of not complying with the standard(s) below. The standards are:
 - A. At least 6 metres setback from all side and rear boundaries;
 - B. At least 3 metres setback from any front boundary;
 - C. The highest floor shall be stepped back at least 1 metres from the floor beneath;
 - D. A ground level communal outdoor living space shall be provided at a ratio of 50m² per 10 residential units. The number of units shall be rounded to the nearest 10, in accordance with the Swedish rounding system. This ratio shall be calculated on the number of residential units on the 4th floor of the building and any subsequent floors above, with the maximum required area being 20% of the site area. Any communal outdoor living space shall have a minimum dimension of no less than 8 metres.
- xiv. For buildings within 1.2km from the **city centre**, whether the development detracts from the economic opportunities within the **city centre**.

14.15.4 Height in relation to boundary breaches

- a. Whether the non-compliance is appropriate to its planned urban built character, taking into account:
 - i. Building bulk and dominance effects on adjoining neighbours;
 - ii. Privacy effects on neighbours, including the loss of privacy in habitable rooms or outdoor living spaces;
 - iii. Shading effects on adjoining neighbours and the degree of impact on any internal or outdoor living spaces or windows to habitable rooms; and
 - iv. Any impacts on heritage values of adjoining properties.

~~14.15.4 Minimum unit size and unit mix~~

- a. ~~When considering under-sized units, whether the reduced unit size is appropriate taking into account:~~
 - i. ~~the floorspace available and the internal layout and their ability to support the amenity of current and future occupants;~~
 - ii. ~~other on site factors that would compensate for a reduction in unit sizes e.g. communal facilities;~~
 - iii. ~~scale of adverse effects associated with a minor reduction in size in the context of the overall residential complex on the site; and~~
 - iv. ~~needs of any social housing tenants.~~

14.15.5 Scale and nature of activity

- a. Whether the scale of activities and their impact on residential character and amenity are appropriate, taking into account:
 - i. the compatibility of the scale of the activity and the proposed use of the **buildings** with the scale of other **buildings** and activities in the surrounding area;
 - ii. the ability for the locality to remain a predominantly residential one; and
 - iii. the appropriateness of the use in meeting needs of residents principally within the surrounding living environment.
- b. The adverse effects of additional staff, pedestrian and traffic movements during the intended hours of operation on:
 - i. the character of the surrounding living environment; and
 - ii. noise, disturbance and loss of privacy of nearby residents.
- c. For **home occupations**, ~~whether:~~
 - i. whether the non-compliance is an integral and necessary part of the **home occupation**;
 - ii. the extent to which the scale and/or nature of the activity, including signage, has an adverse effect on the anticipated level of amenity and character of the site and the surrounding area; and
 - iii. whether the nature of the activity conflicts with residential activities and the wellbeing of the surrounding residents; and
 - iv. whether retail activity remains small in scale, does not create adverse effects through additional pedestrian and traffic movements, noise, disturbance and loss of privacy, and does not undermine the centres-based framework for commercial activities.
- d. For **residential units** with more than six bedrooms, whether there should be a limit on the number of bedrooms over six bedrooms based on the impact on the surrounding neighbourhood and residential character.
- e. The ability to avoid, remedy or appropriately mitigate any adverse effects of the extended hours of operation; and other factors which may reduce the effect of the extended hours of operation, such as infrequency of the activity or limited total hours of operation.

- f. The opportunity the activity provides to support an existing nearby **commercial centre**.
- g. The opportunity the activity provides to support and compliment any existing health-related activities and/or **community activities** in the surrounding area.
- h. For Residential ~~Guest~~ Visitor Accommodation Zone sites only, the extent to which any additional bedrooms and quantum of floorspace proposed avoids adverse effects on the function and recovery of the **Central City**.
 - i. For the Accommodation and Community Facilities Overlay area, the extent to which any additional quantum of floorspace for activities ancillary to visitor accommodation avoids adverse effects on the function and recovery of other commercial centres.

(Plan Change 4 Council Decision subject to appeal)

(Proposed Plan Change 5D subject to Council Decision)

14.15.6 Traffic generation and access safety

- a. Whether the traffic generated is appropriate to the residential character, amenity, safety and efficient functioning of the **access** and **road** network taking into account:
 - i. in the case of effects on residential character and amenity:
 - A. any adverse effects in terms of noise and vibration from vehicles entering and leaving the **site** or **adjoining road**, and their incompatibility with the noise levels acceptable in the respective living environments;
 - B. any adverse effects in terms of glare from headlights of vehicles entering and leaving the **site** or **adjoining road** on residents or occupants of **adjoining residential sites**;
 - C. any reduction in the availability of on-street parking for residents, occupants or visitors to **adjoining residential sites** to the point that it becomes a nuisance;
 - D. any adverse effects in terms of fumes from vehicles entering or leaving the site, on residents or occupiers of adjoining residential sites; and
 - E. the ability to mitigate any adverse effects of the additional traffic generation such as through the location and design of vehicle crossings, parking areas and loading areas or through the provision of screening and other factors that will reduce the effect of the additional traffic generation, such as infrequency of the activity, or limited total time over which the traffic movements occur; and
 - ii. in the case of the safe and efficient functioning of the **road** network:
 - A. any cumulative effect of traffic generation from the activity in conjunction with traffic generation from other activities in the vicinity;
 - B. adverse effects of the proposed traffic generation on activities in the surrounding living environment;
 - C. consistency of levels of traffic congestion or reduction in levels of traffic safety with the classification of the **adjoining road**;

- D. the variance in the rate of **vehicle movements** throughout the week and coincidence of peak times with peak traffic movements on the wider network; and
- E. the location of the proposed **access** points in terms of **road** and intersection efficiency and safety, and the adequacy of existing or alternative **access** points.

14.15.7 Water supply for fire fighting

- a. Whether sufficient fire fighting water supply ~~provision~~ to ensure the health and safety of the community, including neighbouring properties, is provided.

14.15.8 Acoustic insulation

- a. Whether a reduction in acoustic insulation is appropriate taking into account:
 - i. a reduced level of acoustic insulation may be acceptable due to mitigation of adverse noise impacts through other means, e.g. screening by other structures, or distance from noise sources;
 - ii. there is an ability to meet the appropriate levels of acoustic insulation through alternative technologies or materials; and
 - iii. the provision of a report from an acoustic specialist provides evidence that the level of acoustic insulation is appropriate to ensure the amenity of present and future residents of the **site**.

14.15.9 Retirement villages

- a. Whether the development, while bringing change to existing environments, is appropriate to its context taking into account:
 - i. engagement with, and contribution to, adjacent streets and **public open spaces**, with regard to:
 - A. fencing and boundary treatments;
 - B. sightlines;
 - C. **building** orientation and **setback**;
 - D. configuration of pedestrian entrances;
 - E. windows and internal living areas within buildings; and
 - F. if on a **corner site** is designed to emphasise the corner;
 - ii. integration of **access**, **parking areas** and **garages** in a way that is safe for pedestrians and cyclists, and that does not visually dominate the development, particularly when viewed from the street or other public spaces;
 - iii. retention or response to existing character **buildings** or established landscape features on the **site**, particularly mature trees, which contribute to the amenity of the area;

- iv. appropriate response to context with respect to **subdivision** patterns, visible scale of **buildings**, degree of openness, **building** materials and design styles;
 - v. incorporation of Crime Prevention Through Environmental Design (CPTED) principles, including effective lighting, passive surveillance, management of common areas and clear demarcation of boundaries and legible entranceways;
 - vi. residential amenity for neighbours, in respect of outlook, privacy, noise, odour, light spill, and access to sunlight, through **site** design, **building**, **outdoor living space** and service/storage space location and orientation, internal layouts, **landscaping** and use of screening;
 - vii. creation of visual quality and interest through the separation of **buildings**, variety in **building** form, distribution of walls and openings, and in the use of architectural detailing, glazing, materials, and colour; and
 - viii. where practicable, incorporation of environmental efficiency measures in the design, including passive solar design principles that provide for adequate levels of internal natural light and ventilation.
- b. Where the site is within the Akaroa Heritage Area, the matters set out in Rule **9.3.6.3**
- c. For the avoidance of doubt, this is the only matter of discretion that applies to **retirement villages**.

14.15.10 Use of site and buildings — Prestons Road Retirement village Overlay

- a. Whether the use of **site** and **buildings** is appropriate taking into account:
- i. enhancement of services of value to the **older person's** housing complex, or assistance in retaining the viability of the complex;
 - ii. the likely effect of any additional activities on traffic generation, and the safety and efficiency of traffic movement within the **older person's** housing complex and the wider **road** network; and
 - iii. the effect of additional activities on residential amenities in the vicinity, particularly noise, traffic safety, parking congestion and visual amenity.

14.15.11 Concept plan - Prestons Road Retirement Village Overlay

- a. Whether the concept plan for the whole **site** is appropriate taking into account:
- i. coordination and integration of **road** and pedestrian **access** with **adjoining road** networks;
 - ii. provision for **landscaping**, **outdoor living space**, passive recreational facilities, and stormwater systems, swales for stormwater soakage, **wetlands** and retention basins. These must be planted with native species (not left as grass) that are appropriate to the specific use, recognising the ability of particular species to absorb water and filter waste for 165 independent units and a multi storey health facility including 45 serviced apartments;

- iii. the provision, and design and layout of pedestrian circulation and connectivity of pedestrian access to Snellings Drain reserve;
- iv. the efficient design and layout of parking areas, vehicle manoeuvring areas, and garages;
- v. the incorporation and enhancement of existing landscape and water features;
- vi. the external appearance of the health facility and how it respects the character and amenity values of the area, including building colours and materials, roof pitch and the effect and form of façade modulation, while recognising the use and functional nature of the health facility;
- vii. adequacy of provision of planting for amenity and screening, enhancement of ecological and habitat values, and interface with surrounding areas. The incorporation of a minimum of 60% indigenous endemic species into new plantings;
- viii. the effectiveness, environmental sensitivity of the stormwater management systems; and
- ix. the integration of the stormwater management systems with the Council's drainage network.

14.15.12 Vehicular access - Prestons Road Retirement Village Overlay

- a. Whether vehicle access for the whole site is appropriate taking into account:
 - i. the actual or potential level of vehicle and pedestrian traffic likely to be generated from the proposed access;
 - ii. adverse effects on the traffic use of the access on the traffic function or safety of Prestons Road or both;
 - iii. adequate mitigation for the adverse effects of additional vehicle movements on the access; and
 - iv. safe ingress and egress in relation to sight distances at the access from Prestons Road with reference to the Austroads Guide.

~~14.15.13 Special setback provision – Residential Suburban Zone Wigram~~

- a. ~~Whether the location, form and function of the outdoor living space is appropriate taking into account:~~
 - ~~i. adverse effects on the outdoor living needs of the likely future residents of the site;~~
 - ~~ii. any alternative provision on, or in close proximity to, the site for outdoor living space to meet the needs of likely future residents of the site;~~
 - ~~iii. adequacy of mitigation of potential adverse reverse sensitivity effects on current Royal New Zealand Air Force functions and operations through the location of outdoor living space, windows and the provision of fencing and/or landscaping;~~
 - ~~iv. adequacy of mitigation of adverse effects from current Royal New Zealand Air Force functions and operations through the location of outdoor living space, windows and the provision of fencing and/or landscaping; and~~

- v. ~~adequacy of glazing, window design and location in mitigating the potential adverse effects from current Royal New Zealand Air Force functions and operations.~~

14.15.13 Residential fencing

- a. Whether taller fencing on the road boundary is necessary to provide acoustic insulation of living spaces or screening for outdoor living space where the road carries high volumes of traffic;
- b. The extent to which the proposed fence will detract from the openness and coherence of the site and street scene;
- c. The use of materials or visual permeability to reduce dominance effects;
- d. The ability to provide passive surveillance of the street; and
- e. Visual amenity, privacy, dominance, and shading effects on occupants of adjoining sites arising from fences that exceed 2.0m in height on side and rear boundaries.

14.15.14 Lyttelton Port Influences Overlay

- a. Whether the development is appropriate taking into account:
 - i. increased potential for **reverse sensitivity** effects, including complaints, on the **port activities** resulting from residential outdoor living area activities; and
 - ii. any other methods to reduce the potential for **reverse sensitivity** effects on the port operator, other than the required acoustic insulation, that have been or can be incorporated into the design of the proposal.

14.15.15 Development plans

- a. Whether the development need be in accordance with the development plan taking into account:
 - i. coordination of development, particularly roading access and cycle linkages, with **adjoining** land;
 - ii. the adequacy and location, of open space areas within the development;
 - iii. any adverse effects on the visual appearance of development in the zone as seen from outside the zone, particularly where the land is highly visible;
 - iv. adverse effects on the strength of definition of the rural urban boundary;
 - v. any potential adverse effects on the surrounding **road** network;
 - vi. any adverse effects on Christchurch International Airport and its approach path, including any **reverse sensitivity** complaints;
 - vii. any adverse effects on the visual amenity of residents in **adjoining** areas;
 - viii. any adverse effects in terms of the enhancement of waterways within the development;

- ix. effective, efficient and economically viable provision of services; and
- x. any adverse effects on [Sites of Ngāi Tahu Cultural Significance](#) identified in [Appendix 9.5.6](#).

14.15.16 Relocation of a buildings and temporary lifting or moving of earthquake damaged buildings

- a. **Whether the relocation of the [building](#) is appropriate taking into account:**
 - i. the likely appearance of the [building](#) upon restoration or alteration;
 - ii. the compatibility of the [building](#) with [buildings](#) on [adjoining](#) properties and in the vicinity;
 - iii. the exterior materials used, and their condition and quality;
 - iv. the period required for restoration work to be undertaken; and
 - v. any requirements to impose a bond or other condition to ensure completion of restoration work to an acceptable standard.
- b. **Whether the temporary lifting or moving of the earthquake damaged [building](#) is appropriate taking into account:**
 - i. the effect of reduced proximity on the amenity and/or operation of any neighbouring [sites](#), water way, coastal marine area, [archaeological site](#), or protected tree;
 - ii. the duration of time that the [building](#) will intrude upon the recession plane;
 - iii. any adverse effects on [adjoining](#) owners or occupiers relating to shading and [building](#) dominance; and
 - iv. occupancy of the neighbouring properties of the duration of the works, the extent to which neighbouring properties are occupied for the duration of the works.

14.15.17 Street scene – road boundary building setback, fencing and planting

- a. The extent to which the proposed [building](#) will detract from the coherence, openness and attractiveness of the [site](#) as viewed from the street.
- b. The ability to provided adequate opportunity for garden and tree planting in the vicinity of [road boundaries](#).
- c. The ability to provide passive surveillance of the street.
- d. The extent to which the breach is necessary to enable more efficient, cost effective and/or practical use of the remainder of the [site](#), or the long term protection of [Sites of Ngāi Tahu Cultural Significance](#) identified in [Schedule 9.5.6.1](#), significant trees listed in [Appendix 9.4.7.1](#), or natural features on the [site](#).
- e. For fencing, whether solid fencing is appropriate to provide acoustic insulation of [living spaces](#) where the [road](#) carries high volumes of traffic.

- f. The ability to provide adequate **parking areas** and **manoeuvring areas** for vehicles clear of the road or shared **access** to ensure traffic and pedestrian safety.
- g. ~~The effectiveness of other factors in the surrounding environment in reducing the adverse effects.~~
- h. Where the **site** is within the Akaroa Heritage Area, the matters set out in Rule [9.3.6.3](#).

14.15.18 Minimum building, window and balcony setbacks

- a. ~~Any effect of proximity of the **building** on the amenity of neighbouring properties through loss of privacy, outlook, overshadowing or visual dominance of the **buildings**.~~
- b. ~~Any adverse on the safe and effective operation of **site access**.~~
- c. ~~The ability to provide adequate opportunities for garden and tree plantings around **buildings**.~~
- d. ~~The extent to which the intrusion is necessary to enable more efficient cost. Effective and/or practical use of the remainder of the **site**, or the long term protection of significant trees or natural features on the **site**.~~
- e. Where the **site** is within the Akaroa Heritage Area, the matters set out in Rule [9.3.6.3](#).

14.15.19 Service, storage and waste management spaces

- a. The convenience and **accessibility** of the spaces for **building** occupiers.
- b. The adequacy of the space to meet the expected requirements of **building** occupiers.
- c. The adverse effects of the location, or lack of screening, of the space on visual amenity from the street or **adjoining sites, and communal outdoor living spaces; and**
- d. **The effectiveness of landscaping as screening.**

14.15.20 Outdoor living space

- a. The extent to which **outdoor living spaces** provide useable space, contribute to overall on-site spaciousness and ~~enable access to provide~~ sunlight ~~access throughout the year~~ for occupants.
- b. The **accessibility** and ~~convenience connection~~ of **the outdoor living space to the internal living area** for occupiers **of the residential unit(s) the outdoor living space serves.**
- c. Whether the size, **sunlight access** and quality of **on-site** communal **outdoor living space** or other open space amenity compensates for any reduction in private **outdoor living space**.
- d. The extent to which a reduction in **outdoor living space** will result in retention of mature on-site vegetation;:

- e. Whether space for bicycle storage, servicing, washing lines and heat-pump units are located outside of the outdoor living space.

14.15.21 Outlook space occupation

- a. Measures to ensure the outlook space remains unobstructed, while providing an open site outlook with access to daylight from the windows of habitable rooms;
- b. The contribution of the outlook space to onsite spaciousness and building separation and any effects of a reduction on these;
- c. The nature of occupation within the outlook space and effects on the use of the primary living room or bedroom (as applicable);
- d. The effects on amenity of future occupants from a reduced outlook space dimension; and
- e. Any privacy benefits from a reduced outlook space dimension.

14.15.22 Street-facing glazing

- a. The extent to which clear street-facing glazing, that is visible from the street, is provided for ground floor habitable rooms;
- b. Whether the majority of street-facing glazing is to habitable rooms within the unit/s;
- c. The level of passive surveillance from the residential unit/s to the street; and
- d. Any other building features such as porches or gables that will add visual interest to the street-facing façade.

14.15.23 Residential landscaping

- a. The onsite amenity provided by the proposed landscaping;
- b. The appropriateness of any planting (including location, extent and species selection) to the local climatic environment;
- c. The need to reduce landscaped areas due to the presence of on-site infrastructure and lack of alternative locations on the site for either the planting or the infrastructure;
- d. The extent of tree and garden planting between the building and the road boundary to soften and integrate the development into the surrounding area;
- e. How proposed landscaping enhances onsite and/or offsite amenity;
- f. The extent to which the breach is necessary to enable more efficient, cost effective and/or practical use of the remainder of the site, or the long term protection of Sites of Ngāi Tahu Cultural Significance identified in Schedule 9.5.6.1, significant trees listed in Appendix 9.4.7.1, or natural or heritage features on the site;
- g. Any additional accessibility and safety benefits of providing a reduced landscaped area;

- h. The effect of any reduction in landscaping on adjoining properties, the street, or other public open spaces; and
- i. Any maintenance programme proposed for the landscaping, including the replacement of any vegetation that is damaged, diseased, or dies.

14.15.214 Non-residential hours of operation

- a. Whether the hours of operation are appropriate in the context of the surrounding residential environment taking into account:
 - i. traffic or pedestrian movements which are incompatible with the character of the surrounding residential area;
 - ii. any adverse effects of pedestrian activity as a result of the extended hours of operation, in terms of noise, disturbance and loss of privacy, which is inconsistent with the respective living environments;
 - iii. any adverse effects of the extended hours of operation on the surrounding residential area, in terms of loss of security as a result of people other than residents frequenting the area; and
 - iv. the ability to avoid, remedy or appropriately mitigate any adverse effects of the extended hours of operation; and other factors which may reduce the effect of the extended hours of operation, such as infrequency of the activity or limited total hours of operation.

14.15.225 Minor residential units

- a. Whether the minor residential unit is appropriate to its context taking into account:
 - i. location of the minor residential unit so that it is visually hidden from the road leaving the site with a similar street scene to that of a single residential unit;
 - ii. the adverse visual effects associated with parking areas and access of any additional driveway to accommodate the minor residential unit on the street-scene;
 - iii. the size and visual appearance of the minor residential unit and its keeping with the existing level of buildings in rear gardens or rear sections surrounding the site;
 - iv. the consistency of the number of bedrooms and level of occupancy with a single large residential unit;
 - v. the convenience of the location of outdoor living space in relation the respective residential units; and
 - vi. the adequacy of size and dimension of the outdoor living space to provide for the amenity needs of future occupants.
- b. Where the site is within the Akaroa Heritage Area, the matters set out in Rule 9.3.6.3.

14.15.236 Character Area Overlay

- a. Area context
 - i. Whether development recognises the distinctive landforms, landscape setting and development patterns of the character area in respect to:
 - A. retaining and enhancing the areas' natural features;
 - B. integrating with the existing pattern and grain of **subdivision** and **building**;
 - C. ~~the extent and scale of vegetation retained and/or provided;~~**
 - D. the relationship with **adjoining sites** and **buildings**, including any recorded **historic heritage** values;
 - E. the visual coherence of the area.
- b. **Street interface**
 - ii. **Whether the development contributes to the coherency and character of the street by:**
 - A. providing a front yard building setback which is consistent with the overall depth and pattern of the character area, and in particular with other sites within the street;**
 - B. recognising the positive contribution of buildings that are representative of the primary characteristics of the area and are proposed to be retained, through a reduction in the front yard building setback;**
 - C. reducing the extent of paved surface on the site and avoiding the location of vehicle access, manoeuvring, parking areas and garaging within the front yard, or where it visually dominates the streetscene;**
 - D. utilising, as a preference, a shared driveway and avoiding co-location of driveways and/or garages to minimise the impacts on the quality of the streetscene;**
 - E. having low height or no fencing on the street frontage or within the front boundary setback; and**
 - F. orientating the building on the site to face the street, with sufficient building frontage to reinforce the street edge.**
- b. Site character ~~and street interface~~
 - i. Whether the development complements the residential character and enhances the amenity of the character area by:
 - A. providing a balance of open space to **buildings** across the **site** consistent with the surrounding **sites** within the block, and to a lesser extent, the wider area;
 - B. maintaining the extent and scale of vegetation, most importantly trees;**
 - C. separating buildings on the site with open space and planting between buildings;**
 - D. ~~providing a front yard building setback which is consistent with the overall depth and pattern of the character area, and in particular with other sites within the street;~~**

- E. retaining the front **and rear** yards for ~~outdoor living~~, open space, **and** tree and garden planting; **and**
 - F. **ensuring paved areas, fencing and buildings are visually softened through the provision of adjacent planting.**
 - G. ~~avoiding the location of vehicle access, parking areas and garaging within the front yard, or where it visually dominates the streetscene;~~
 - H. ~~having low height or no fencing on the street frontage; and~~
 - I. ~~orientating the building on the site to face the street.~~
- c. Built character
 - i. Whether the development supports the residential built character values of the character area in regard to:
 - A. **retaining residential buildings built prior to 1945, or in respect to Bewdley, prior to 1970;**
 - B. **retaining or locating of the primary building on the site at the street interface, with a lesser scale dwelling to the rear;**
 - C. the scale and form of the **building**, including the roof form;
 - D. architectural detailing including features such as verandas, materials, **window** and front entry design and placement;
 - E. complementary and compatible **building** design;
 - F. the recognition of recorded **historic heritage** values of adjacent **buildings**.
- d. Akaroa and Lyttelton
 - i. In addition to the matters listed above, in respect to Akaroa and Lyttelton character areas, whether the development:
 - A. retains important views from public places;
 - B. reduces the potential for visual dominance of the development when viewed from elsewhere within the viewing catchment;
 - C. responding through the use of the landscape at the street interface to the existing informality or formality of the streetscape;
 - D. retains residential **buildings**, including **accessory buildings**, that were built prior to 1945 and/or that contribute to the architectural traditions and character values;
 - E. reflects the small scale and simple forms of residential **building**; and
 - F. recognises any recorded **historic heritage** values adjacent and opposite to the development.
 - ii. Where the **site** is within the Akaroa Heritage Area, the matters set out in Rule 9.3.6.3.

- iii. Where the site is within the Lyttelton Character Area, the extent to which the development is consistent with the Lyttelton Character Area Design Guide.

14.15.247 Indigenous vegetation clearance in Akaroa Hillslopes Density Overlay

- a. Whether it is necessary to remove **indigenous vegetation**, including whether the vegetation is removed to manage disease or plant pathogens.
- b. The relationship with other areas of vegetation and whether the proposed removal or alteration would negatively impact on that relationship, including in relation to habitat fragmentation and the effectiveness of any ecological corridor.
- c. Whether the vegetation has a positive effect in managing erosion, slope stability or other hazard.
- d. The extent to which existing vegetation will continue to contain and define the edge of Akaroa township, providing it with a distinct edge.
- e. The degree to which alteration or removal of vegetation will adversely affect soil conservation, water quality or the hydrological function of the catchment and the efficacy of mitigating measures.
- f. The extent of any revegetation proposed and its efficacy in mitigating any adverse effects.

14.15.28 Wind

- a. The effects on the amenity and safety of surrounding properties or users of public or private space from any increases in wind speed resulting from the proposed building;
- b. The use of landscaping to mitigate wind effects; and
- c. The degree of change from the existing wind environment attributable to the proposed building, and any proposed additional mitigation measures.

~~14.15.25 Ground floor habitable space in the Residential Central City Zone~~

- a. ~~The extent to which engagement between **residential activity** and ground level open space, including the street, is adversely impacted by the loss or reduction of a **habitable space** at ground level.~~
- b. ~~The ability of an undersized **habitable space** to continue to be used for functional **residential activity**.~~

~~14.15.26 Service space in the Residential Central City Zone~~

- a. ~~The convenience and **accessibility** of the spaces for **building** occupiers.~~
- b. ~~The adequacy of the space to meet the expected requirements of **building** occupiers.~~
- c. ~~The adverse effects of the location, or lack of screening, of the space on visual amenity from the street or **adjoining sites**.~~

14.15.279 Building height in the ~~Residential Central City Zone~~ High Density Residential zone within the Central City

- a. Compatibility with the scale of other **buildings** in the surrounding area, and the extent to which **building** bulk is out of character with the local environment.
- b. Any effect of increased **height** on the amenity of neighbouring properties, including through loss of privacy, outlook, overshadowing or visual dominance of **buildings**.
- c. the extent to which an increased **height** is necessary to enable more efficient, cost effective and/or practical use of the **site**, or the long term protection of significant trees or natural features on the **site**.

14.15.2830 Daylight recession planes in the ~~Residential Central City Zone~~ High Density Residential zone within the Central City

- a. Any effect on the amenity of neighbouring properties, including through loss of privacy, outlook, overshadowing or visual dominance of **buildings**.
- b. The extent to which the intrusion is necessary to enable more efficient, cost effective and/or practical use of the remainder of the **site**, or the long term protection of significant trees or natural features on the **site**.

14.15.2931 Street scene and access ways in the ~~Residential Central City Zone~~ High Density Residential zone within the Central City

- a. The extent to which the proposed **building** will detract from the coherence, openness and attractiveness of the **site** as viewed from the street and **adjoining sites**, including the ability to provide adequate opportunity for garden and tree planting in the vicinity of **road boundaries**;
- b. the extent to which the intrusion is necessary to enable more efficient, cost effective and/or practical use of the remainder of the **site**, or the long-term protection of significant trees or natural features on the **site**;
- c. the ability to provide adequate parking and maneuvering space for vehicles clear of the **road** or shared **access** to ensure traffic and pedestrian safety;
- d. the effectiveness of other factors in the surrounding environment in reducing the adverse effects, such as existing wide **road** widths, street plantings and the orientation of existing **buildings** on **adjoining sites**.

14.15.302 Minimum building setbacks from internal boundaries in the ~~Residential Central City Zone~~ High Density Residential zone within the Central City

- a. Any effect of proximity of the **building** on the amenity of neighbouring properties, including through loss of privacy, outlook, overshadowing or visual dominance of **buildings**.
- b. Any adverse effect on the safe and effective operation of **site access**.
- c. The ability to provide adequate opportunities for garden and tree plantings around **buildings**.

- d. The extent to which the intrusion is necessary to enable more efficient, cost effective and/or practical use of the remainder of the **site**, or the long term protection of significant trees or natural features on the **site**.

14.15.313 Fencing and screening in the ~~Residential Central City Zone~~ High Density Residential zone within the Central City

- a. The extent to which storage facilities and **parking areas** are visually integrated, screened or otherwise accommodated to minimise adverse amenity or visual impacts on surrounding properties (including units within the same development) or public spaces.
- b. The extent to which a partial screening structure or reduction in visual transparency may be more visually appropriate or suited to the character of the **site** or area, or is appropriate to provide privacy or security or compromises **CPTED** principles. The extent to which the screening structure is varied in terms of incorporating steps, changes in **height**, variety in materials, or incorporates **landscaping** and avoids presenting blank façades to the street or to an Open Space Community Parks Zone, Open Space Water and Margins Zone and Avon River Precinct/Te Papa Ōtākaro Zone.

14.15.324 Landscaping and tree planting in the ~~Residential Central City Zone~~ High Density Residential zone within the Central City

- a. Any reduction in **landscaping** on the amenity of the **site** and for neighbouring properties, including the street or other **public open spaces**.

14.15.335 Urban design in the ~~Residential Central City Zone~~ High Density Residential zone within the Central City

- a. The extent to which the development, while bringing change to existing environments:
 - i. engages with and contributes to adjacent streets, lanes and **public open spaces**.
 - ii. integrates **access**, **parking areas** and **garages** in a way that is safe for pedestrians and cyclists, and that does not dominate the development.
 - iii. has appropriate regard to:
 - A. residential amenity for occupants, neighbours and the public, in respect of outlook, privacy, and incorporation of Crime Prevention Through Environmental Design principles; and
 - B. neighbourhood context, existing design styles and established landscape features on the **site** or adjacent **sites**.
 - iv. provides for human scale and creates sufficient visual quality and interest.

~~14.15.34 Minimum site density from development and redevelopment of residential units in the Residential Central City Zone~~

- a. ~~In considering the reduction in the number of **residential units** to be constructed on a **site**, the extent to which the opportunity for future development of the **site**, in accordance with the density standard, is maintained, and~~

- b. ~~The extent to which accommodating further residential unit(s) to meet the density standard would adversely affect amenity outcomes for occupants of the residential units and/or the adjacent properties, given the size of the site or its configuration.~~
- c. ~~Whether the minimum development intensification target of an average net density of 50 households per hectare within the Central City is being achieved; and~~
- d. ~~The extent to which residential activity in the Central City is restored and enhanced through a variety of housing types suitable for a range of individual housing needs, while providing for a progressive increase in residential population~~

14.15.350 Outline development plan

- a. The appropriateness of the proposal taking into account the outcomes sought by the **outline development plan** and relevant environmental effects with respect to those outcomes.

14.15.361 Comprehensive residential development in the ~~Residential New Neighbourhood~~ Future Urban Zone

For the avoidance of doubt, these are the only matters of discretion that apply to **comprehensive residential development** in the ~~Residential New Neighbourhood~~ **Future Urban** Zone.

- a. Whether the comprehensive residential development is consistent with the relevant outline development plan.
- b. Whether the **comprehensive residential development** demonstrates that every **site** or **residential unit** will experience appropriate levels of sunlight, daylight, privacy, outlook and access to outdoor open space and overall a high level of amenity for the development.
- c. Whether **sites** proposed to exceed the maximum **site coverage** in Rule 14.12.2.2 are internal to the application **site** and will not compromise the achievement of a high level of amenity within or beyond the development.
- d. Whether **buildings** proposed to exceed the maximum permitted **height** in Rule 14.12.2.1 will contribute positively to the overall coherence, design, layout and density of the development and surrounding **sites**.
- e. Whether the development engages with and contributes to adjacent streets, lanes and **public open spaces**, through the **building** orientation and **setback**, **boundary** and landscape treatment, pedestrian entrances, and provision of glazing from **living areas**.
- f. Whether the development, in terms of its built form and design, generates visual interest through the separation of **buildings**, variety in **building** form and in the use of architectural detailing, glazing, materials, and colour;
- g. Whether the development integrates **access**, **parking areas** and **garages** to provide for pedestrian and cyclist safety and the quality of the pedestrian environment, and the **access**, **parking areas** and **garages** do not dominate the development, particularly when viewed from the street or other public spaces;
- h. Whether there is sufficient infrastructure provision to service the development and ensure the health and safety of residents, visitors and neighbouring properties, including water supply for fire fighting purposes; and

- i. In relation to the built form standards that do not apply to **comprehensive residential developments**, consideration of these standards as a flexible guideline to achieve good design and residential amenity.

14.15.372 Tree and garden planting in the Residential ~~Guest~~ Visitor Accommodation Zone

- a. Whether there is sufficient tree and garden planting to provide a balance between **buildings** and hard surfacing, taking into account:
 - i. the effect of any reduced tree planting in terms of the scale and visual appearance or dominance of the **buildings** on the **site**;
 - ii. visibility of the **site** from **adjoining sites** and the likely effect of any reduction in tree planting standards for the amenity of neighbouring **sites**;
 - iii. any compensating factors for reduced tree planting, including the nature of planting proposed, or the location of activities (including **heritage items**) on the **site**;
 - iv. the use of indigenous species endemic to the area;
 - v. the visual appearance of the **site** in terms of the length of **road boundary** or any unusual characteristics of the **site**;
 - vi. the adverse effect of the reduced tree planting on the Garden City image and the quality of the amenity of the **site** and neighbourhood;
 - vii. the ability to retain large existing trees on the **site** so that overall the **site** provides a visual balance between **buildings** and **landscaping**, despite a reduction in the actual number of trees; and
 - viii. the tree planting provided is evenly distributed across the **site**.

(Plan Change 4 Council Decision subject to appeal)

14.15.383 Retail activity in the Residential ~~Guest~~ Visitor Accommodation Zone

- a. Whether any **retail activity** would have significant adverse effects on any **adjoining** residential properties, particularly in terms of traffic generation.
- b. Whether the scale of **retail activity** proposed would adversely affect existing suburban **commercial centres** or the **Central City**.
- c. The likely impacts of additional **retail activity** on **access** and the safety and efficiency of the **road** network.
- d. The potential for general **retail activity** to become a dominant activity on the **site**.

(Plan Change 4 Council Decision subject to appeal)

DISTRICT PLAN TEXT AMENDMENTS

Key:

For the purposes of this plan change, any unchanged text is shown as normal text or in **bold**, any text proposed to be added by the plan change is shown as **bold underlined** and text to be deleted as ~~**bold strikethrough**~~.

Text in **bold red underlined** is that from Schedule 3A of the Resource Management Act and must be included.

Text in **green** font identifies existing terms in Chapter 2 – Definitions. Where the proposed change contains a term defined in Chapter 2 – Definitions, the term is shown as **bold underlined text in green** and that to be deleted as ~~**bold strikethrough in green**~~. New definition in a proposed rule is **bold green text underlined in black**.

Text in **purple** is a plan change proposal subject to Council Decision.

Text in **purple shaded in grey** is a Plan Change Council Decision.

Text in **black/green shaded in grey** is a Council Decision subject to appeal.

Text in **blue** font indicates links to other provisions in the district Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan.

14.16 Appendices

Appendix 14.16.1 Measurement and assessment of noise

- a. The measurement of noise shall be in accordance with **NZS 6801:1991, 'Measurement of Sound'** and assessed in accordance with **NZS 6802:1991, 'Assessment of Environmental Sound'**.
- b. For the purposes of administering these rules the following meanings shall apply:
 - i. dBA means the A-frequency weighted sound pressure level in decibels relative to a reference sound pressure of 20 micro pascals.
 - ii. L10 means the L10 exceedance level set in A-weighted decibels which is equalled or exceeded 10% of the measurement time.
 - iii. Lmax means the period of time between 22:00 and 07:00 the following day.
 - iv. Night-time means the period of time between 22:00 and 07:00 the next day.
 - v. Long-term average sound level shall be the time-average sound level (day-night level) L_{dn} and shall be determined from the inverse-logarithmic mean of the measured L_{dn} level for each day over any five day period in a week.
 - vi. The '**notional boundary**' of any **boundary** shall be 20 metres from the façade of that dwelling, or the legal **boundary** of the **site** where this is closer to the **boundary**.

Minimum construction requirements for all Central City zones

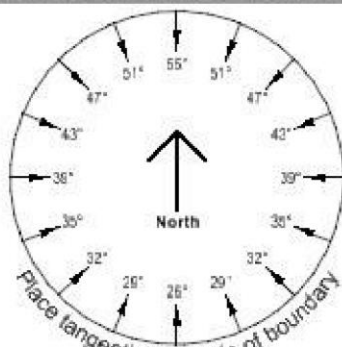
Building Element	Minimum Construction Requirement
1. External walls of habitable spaces	<p>a. Walls with cladding: Minimum not to be less than 25kg/m^2 being the combined mass of external and internal linings excluding structural elements (e.g. window frames or wall studs).</p> <p>Assumes minimum 100mm wall cavity. Minimum exterior cladding to be 20mm timber or 9mm compressed fibre cement sheet over timber frame (100mm x 200mm). Fibrous acoustic blanket (Batts or similar) required in cavity for all exterior walls. Interior: One layer of 13mm gypsum plasterboard.</p> <p>Mass walls²: 190mm concrete block, strapped and lined internally with 9.5mm gypsum plaster board OR 150mm concrete wall.</p> <p>Notes:</p> <p>¹ (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p> <p>² Where exterior wall cladding has a mass of greater than 25kg/m^2.</p>
2. Windows of habitable spaces	<p>a. Windows of up to 35% of floor area: 10/12/6 double glazing or 14mm laminate glass or glazing systems of equivalent acoustic performance.</p> <p>b. Window areas greater than 35% of floor area will require a specialist acoustic report to show conformance with the insulation rule.</p> <p>c. Frames to be new aluminium window frames with compression seals or equivalent.</p>
3. Pitched roof	<p>a. Cladding: 0.55mm profiled steel or tiles or 6mm corrugated fibre cement.</p> <p>Frame: Timber truss with 100mm acoustic blanket. Fibrous acoustic blanket (Batts or similar) required for all ceilings with combined mass of less than 25kg/m^2.</p> <p>Ceiling: 13mm gypsum plaster board.</p> <p>Note: (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>
4. Skillion roof	<p>a. Cladding: 0.55mm profiled steel or 6mm fibre cement.</p> <p>Sarking: 20mm particle board (no gaps).</p> <p>Frame: 100mm gap with acoustic blanket.</p> <p>Ceiling: two layers of 9.5mm gypsum plaster board (no through ceiling lighting penetrations unless correctly acoustically rated).</p> <p>Fibrous acoustic blanket (Batts or similar) required for all ceilings with combined mass 25kg/m^2.</p> <p>Note: (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>
5. External Door to habitable spaces	<p>a. Solid core door ($\text{min } 24\text{kg/m}^2$) with weather seals (where the door is exposed to exterior noise).</p> <p>Note: (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>
<p>Advice note:</p> <p>1. Compliance with ventilation requirements of any other Act and these District Plan noise insulation requirements shall be concurrent. Ventilation should be provided in accordance with the provisions of the</p>	

Building Element	Minimum Construction Requirement
2.	<p data-bbox="165 295 1497 519">New Zealand Building Code G4 in a manner which does not compromise sound insulation. To this effect, relying on opening windows for ventilation will compromise the sound insulation performance provided by the District Plan standard. Alternative ventilation methods such as mechanical ventilation or passive methods should be considered. Inlets and outlets for passive and mechanical ventilation systems, and ventilation ductwork, are to be designed to incorporate acoustic insulation to ensure that the acoustic performance of the building facade achieves a minimum noise reduction consistent with the relevant rules.</p> <p data-bbox="165 546 1471 654">In determining the insulation performance of roof/ceiling arrangements, roof spaces are assumed to have no more than the casual ventilation typical of the jointing, capping and guttering detail used in normal construction.</p>

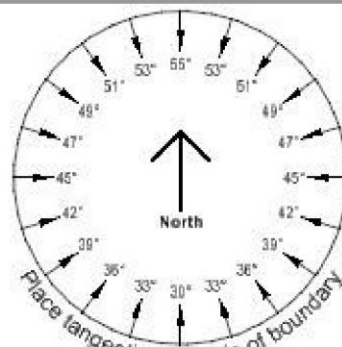
Appendix 14.16.2 Recession planes

Appendix 14.16.2 - Recession Planes

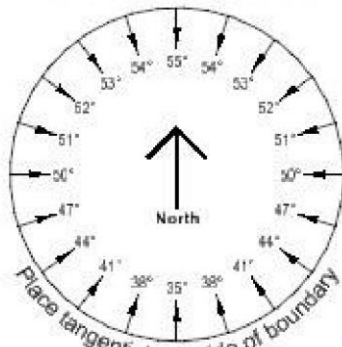
Note: North is true north



- A** Applicable to all buildings:
- in the Residential Suburban Zone
 - on sites in other non residential zones that adjoin the Residential Suburban Zone
 - in the Residential Small Settlement Zone Kainga Overlay Areas 1 and 2 and Spenceville Overlay Area



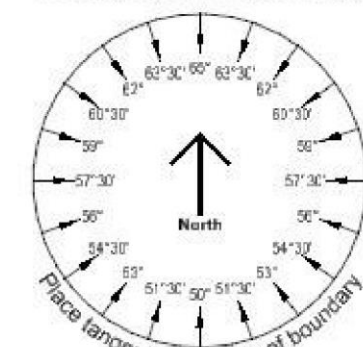
- B** Applicable to all buildings:
- in the Residential Suburban Density Transition Zone
 - on sites in other non residential zones that adjoin the Residential Suburban Density Transition Zone
 - in the Residential Hills Zone and on Māori land within the Papakāinga / Kāinga Nohoanga zone



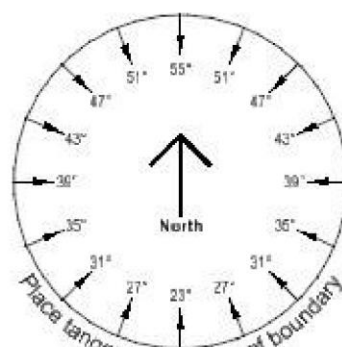
- C** Applicable to all buildings:
- in the Residential Medium Density Zone
 - on sites in other non residential zones that adjoin the Residential Medium Density Zone
 - in the Residential New Neighbourhood Zone



- D** Applicable to all buildings:
- in the medium density higher height limit zones
 - on sites in other non residential zones that adjoin the medium density higher height limit zones
 - in the medium density higher height limit zones (except those buildings over 11 metres in height)
 - on sites in other non residential zones that adjoin the medium density (except those buildings over 11 metres in height)

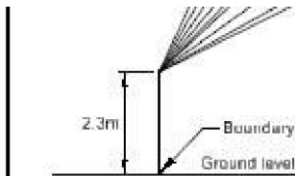


- E** Applicable to all buildings:
- over 11 metres in height in the medium density higher height limit zones
 - over 11 metres in height on sites in other non residential zones that adjoin the medium density higher height limit zones
 - in the Residential Guest Visitor Accommodation Zone and the Residential Central City Zone (Plan Change 4 Council Decision)



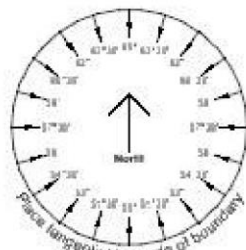
- F** Applicable to all buildings:
- in the Residential Large Lot Zones





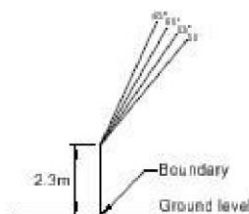
Appendix 14,16,2C

Note: North is true north



Applicable to all buildings.

- in or adjoining the Residential ~~Green~~ **Visitor Accommodation Zone** or the Residential Central City Zone (Plan Change 4 Council Decision)



The following intrusions are permitted:

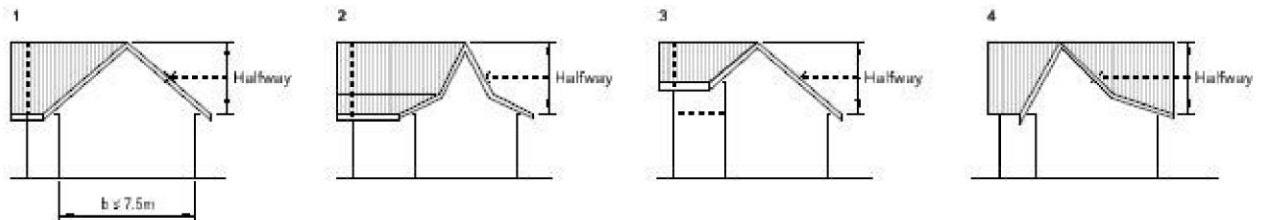
1. ~~Gutters and eaves by up to 0.2 metres measured vertically;~~
2. ~~Solar panels up to two metres in length per~~ **boundary**;
3. ~~Chimneys, ventilation shafts, spires, poles and~~ **masts** (where poles and **masts** are less than nine metres above **ground level**), provided that the maximum dimension thereof parallel to the **boundary** for each of these structures shall not exceed 1 metre.
4. ~~Lift shafts, stair shafts, and roof water tanks provided that there is a maximum of one intrusion of a lift shaft or stair shaft or roof water tank (or structure incorporating more than one of these) permitted for every 20 metre length of internal~~ **boundary** and the maximum dimension thereof parallel to the **boundary** for this

structure shall not exceed 3 metres, and provided that for **buildings** over three storeys, such features are contained within or are sited directly against the outside structural walls.

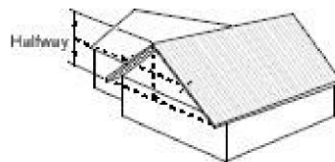
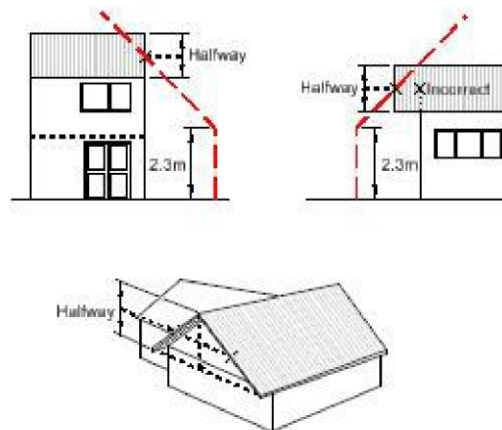
5. ~~Where a single gable end with a base (excluding eaves) of 7.5 metres or less faces a **boundary** and a recession plane strikes no lower than half way between the eaves and ridge line, the gable end may intrude through the recession plane.~~

Appendix 14.16.2A - Permitted Intrusions - Gables

Location of halfway between the eaves and ridge line.



Examples of designs that do not meet the definition of a gable.



Appendix 14.16.2B - Recession Planes - Midpoint Location Along Wall And Roof Sections

NOTE:

Ground levels taken at boundary.

If lower on the neighbours side then the lower ground level is used.

Views 1, 3, 5 and 7 show compliance with recession planes corresponding to midpoints of walls.

Views 2, 4, 6 and 10 show compliance with recession planes corresponding to midpoints of roof.

View 8 shows non-compliance with recession plane corresponding to midpoint 8 for a section of roof.

View 9 shows non-compliance with recession plane corresponding to midpoint 9 for a section of wall.

KEY

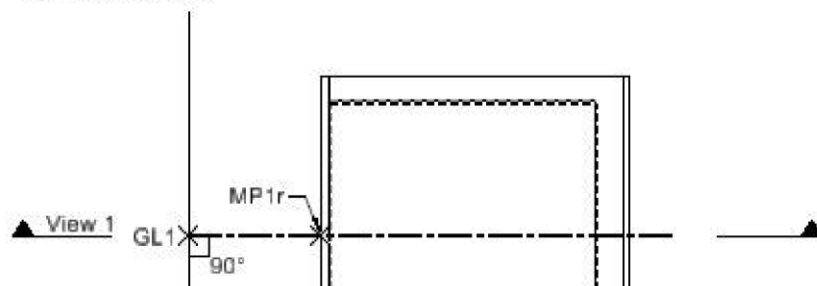
α - Recession plane angle from Appendix 14.16.2A

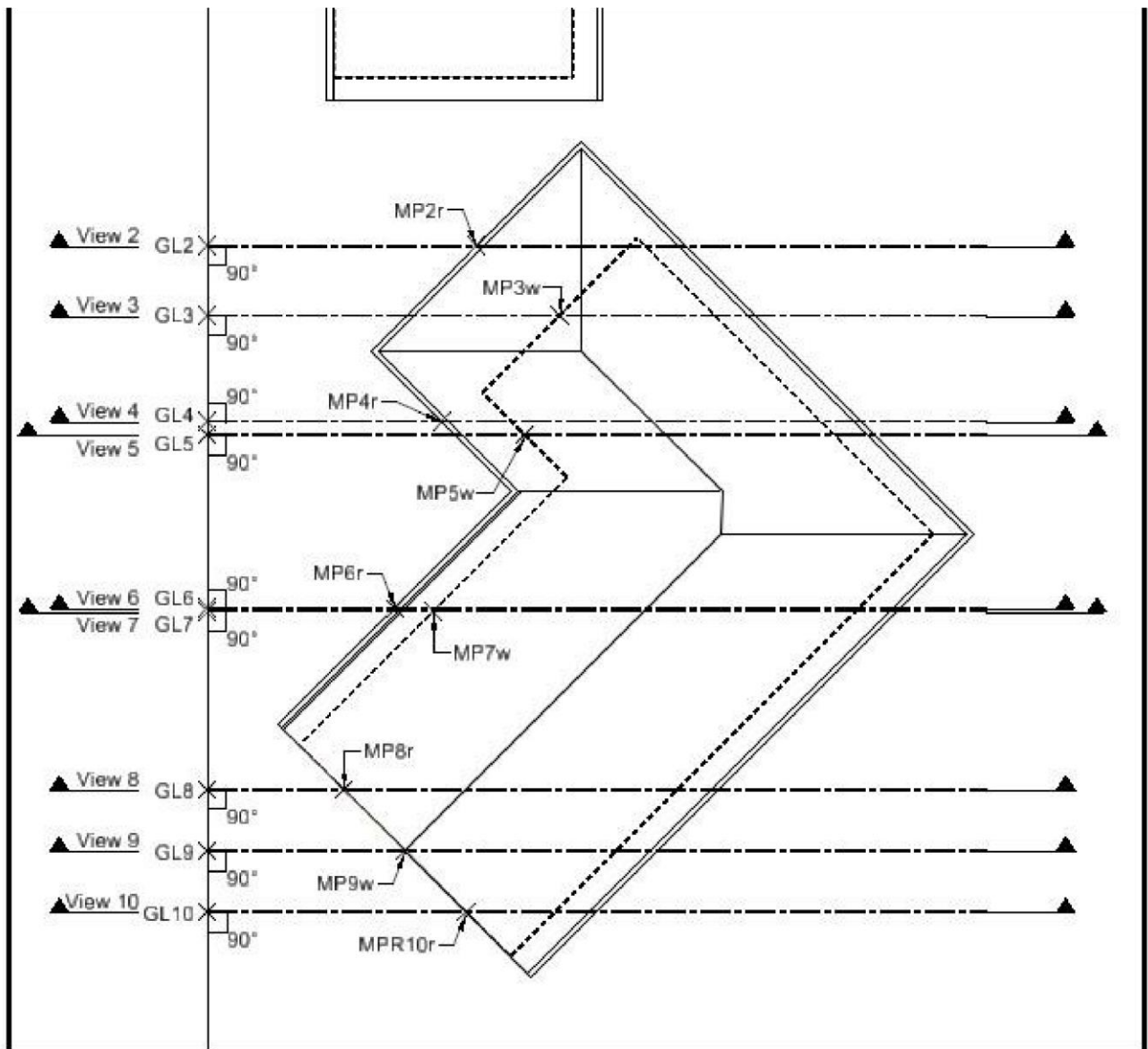
RP - Recession Plane

MPXr - Midpoint Roof

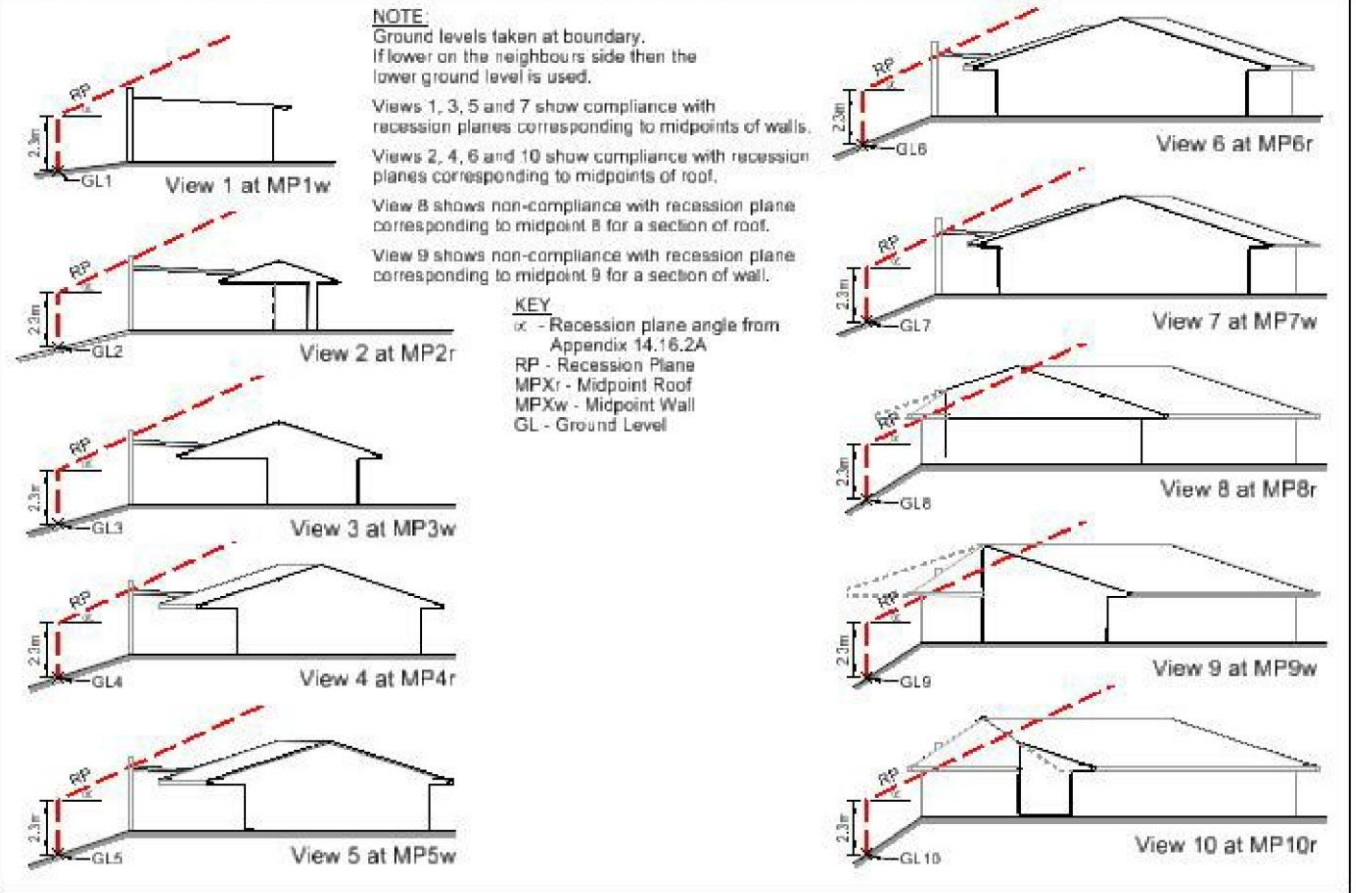
MPXw - Midpoint Wall

GL - Ground Level



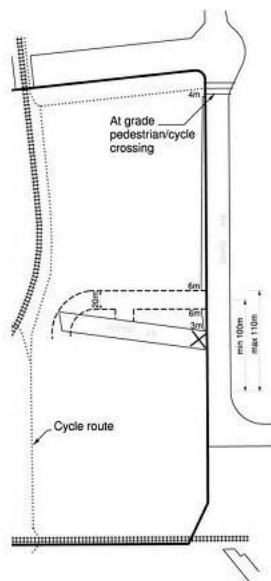


Appendix 14.16.2B - Recession Planes - Midpoint Location Along Wall And Roof Sections



Appendix 14.16.3 Development plan Addington

Development Plan Addington



Key

- Development plan area
- Cycle route
- Indicative location of new roads
- Section of existing road to be widened
- Existing roads to be closed

Where any development involves the closure of those sections of road so identified, the Council will initiate the appropriate procedures under the Local Government Act.

Scale 1:5,000

0 50 100 150 200m



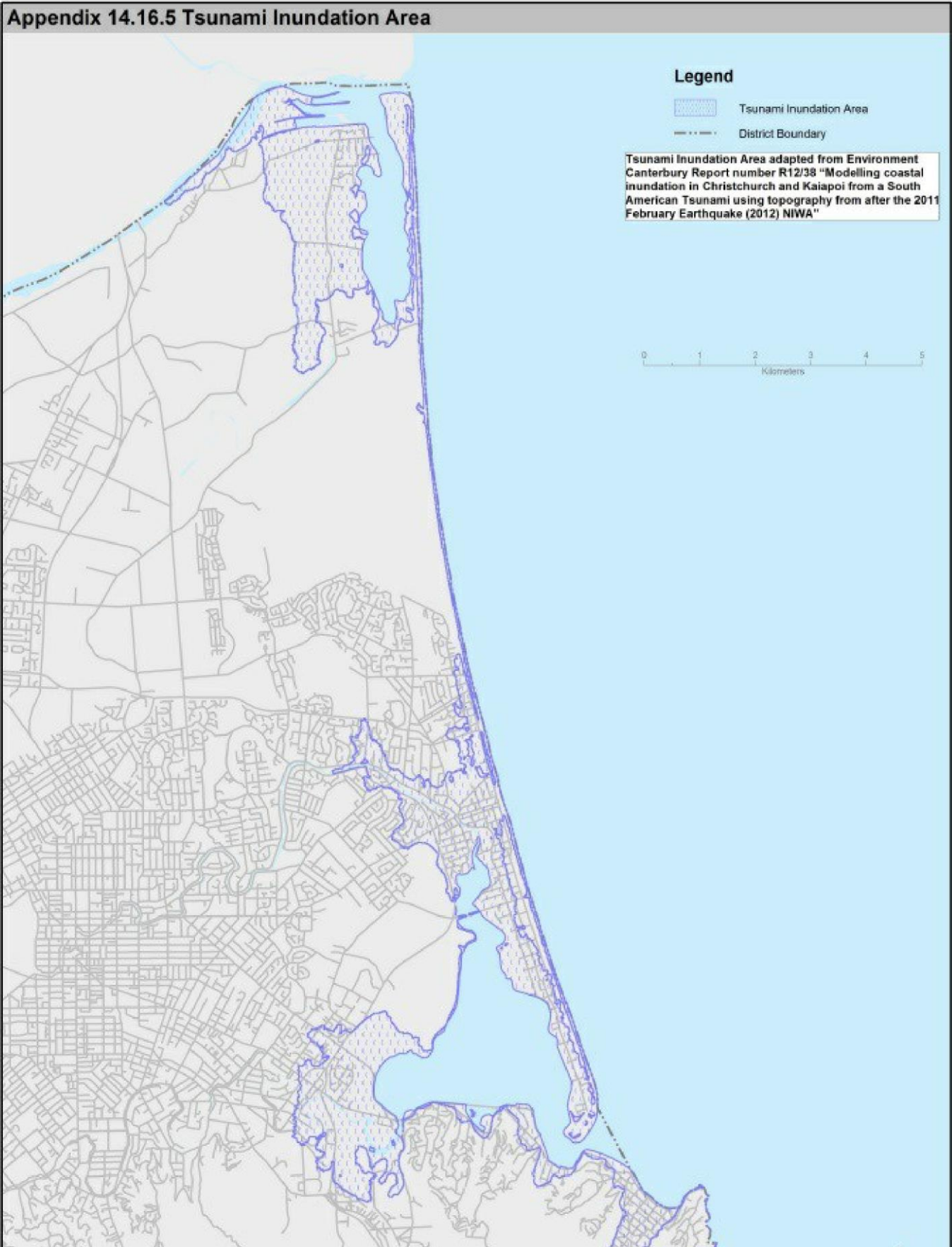
Appendix 14.16.4 Aircraft noise exposure

This appendix derives from Rules [14.4.1.3](#), [14.11.1.1](#) and [14.4.3.2.7](#).

1.1 Indoor design sound levels		
New buildings and additions to existing buildings located within the 50 dB Ldn Air Noise Contour as shown on the planning maps shall be designed to ensure the indoor sound levels stated in the table below, are not exceeded with all windows and doors closed.		
Indoor design sound levels		
Building type and activity	Indoor design and sound levels	
	SEL dB	dB Ldn
Residential units, and older person's housing, hosted visitor accommodation and unhosted visitor accommodation (Plan Change 4 Council Decision subject to appeal)		
Sleeping areas	65	40
Other habitable areas	75	50
Guest Visitor accommodation (except where specified above), resort hotels, hospitals and health care facilities (Plan Change 4 Council Decision subject to appeal)		
Relaxing or sleeping	65	40
Conference meeting rooms	65	40
Service activities	75	60
Education activities		
Libraries, study areas	65	40
Teaching areas, assembly areas	65	40
Workshops, gymnasias	85	60
Retail activities, commercial services and offices		
Conference rooms	65	40
Private offices	70	45
Drafting, open offices , exhibition spaces	75	50
Typing, data processing	80	55
Shops, supermarkets , showrooms	85	60
1.2 Noise insulation calculations and verification		

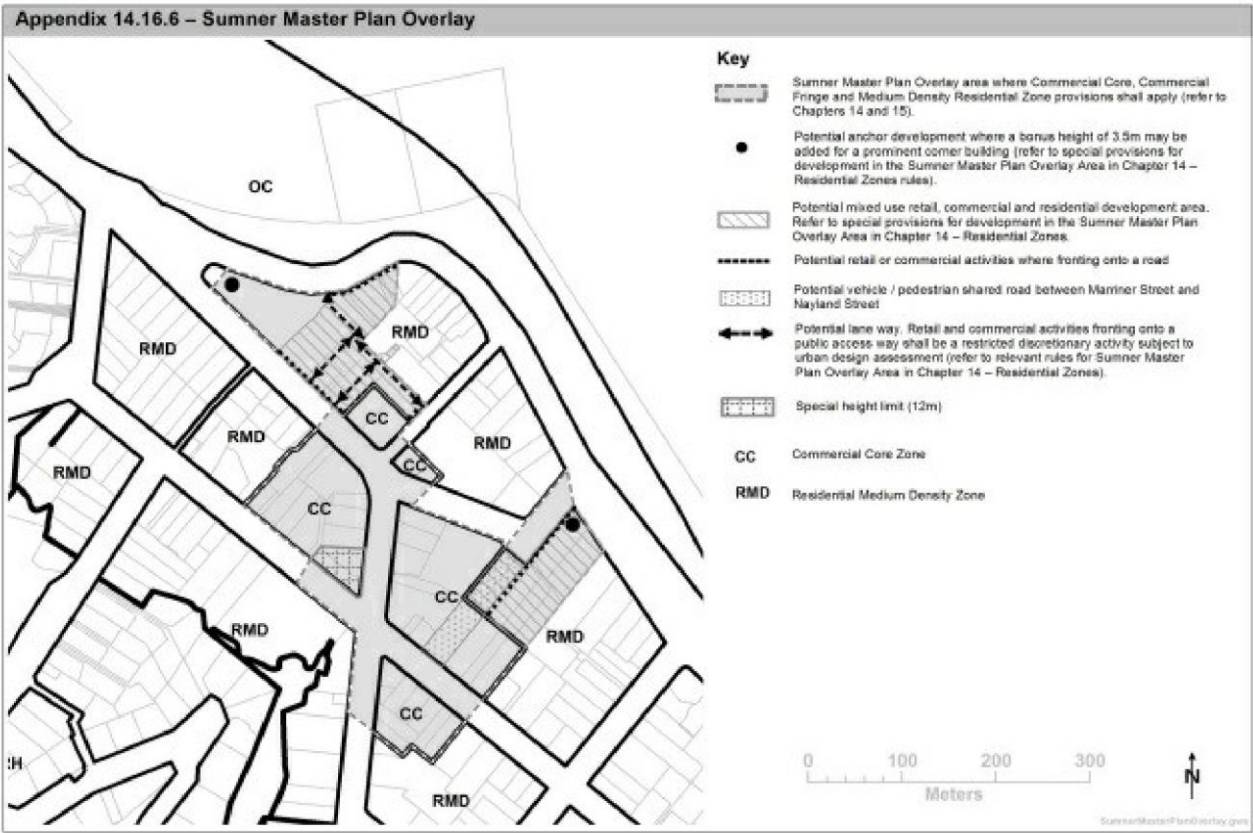
a.	Building consent applications must contain a report detailing the calculations showing how the required sound insulation and construction methods have been determined.
b.	For the purpose of sound insulation calculations the external noise levels for a site shall be determined by application of the air noise contours L_{dn} and SEL. Where a site falls within the contours the calculations shall be determined by linear interpolation between the contours.
c.	If required as part of the final building inspection, the sound transmission of the facade shall be tested in accordance with ISO 140-5 or ASTM to demonstrate that the required facade sound insulation performance has been achieved. A test report is to be submitted. Should the facade fail to achieve the required standard then it shall be improved to the required standard and re-tested prior to occupation.

Appendix 14.16.5 Tsunami inundation area

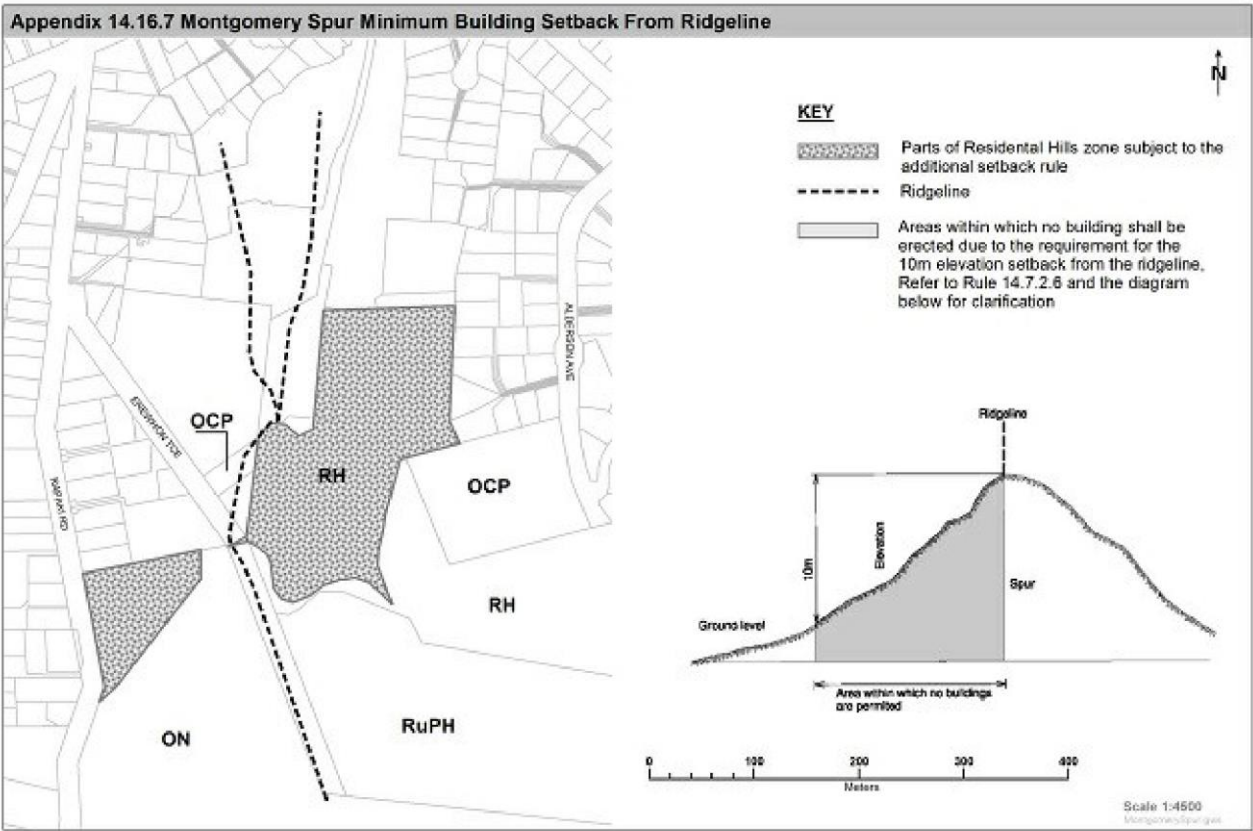




Appendix 14.16.6 Sumner Master Plan Overlay

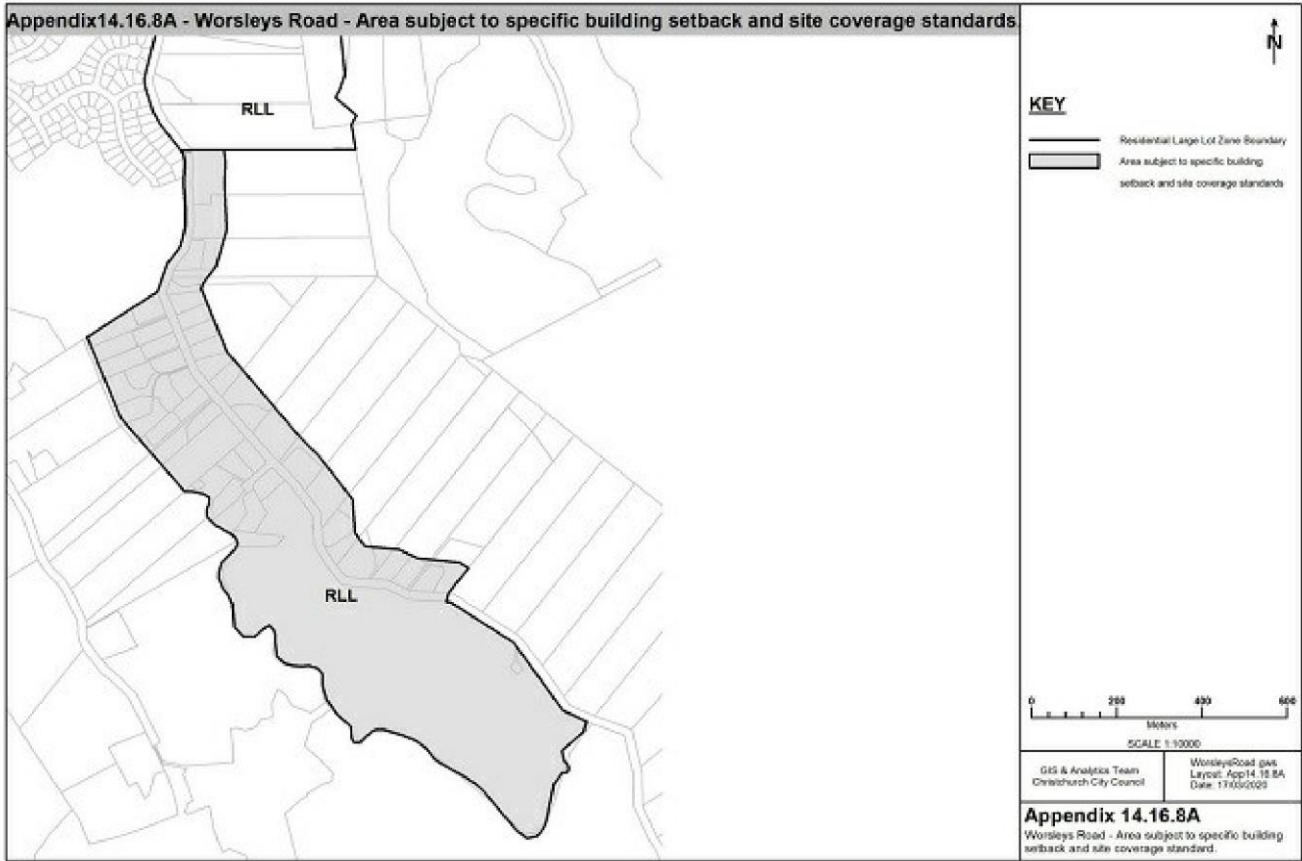


Appendix 14.16.7 Montgomery Spur - minimum building setback from ridgeline

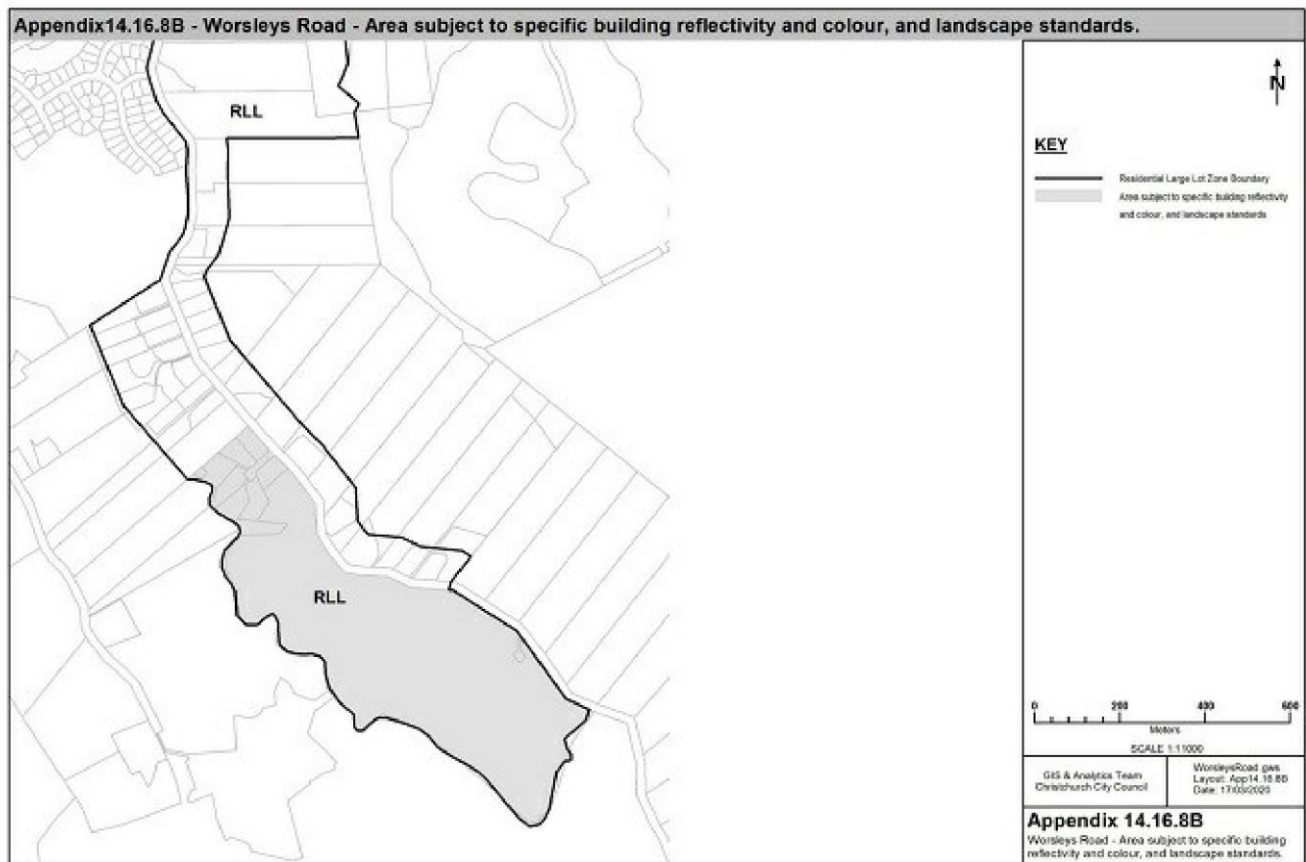


Appendix 14.16.8 Worsleys Road - areas subject to specific standards

Appendix 14.16.8A - Worsleys Road - area subject to specific building setback and site coverage standards



Appendix 14.16.8B - Worsleys Road - area subject to specific building reflectivity and colour, and landscape standards



Colour	Reflectivity	Colour	Reflectivity
00 A 13	6%	10 B 29	3%
10 B 27	8%	02 A 11	18%
08 A 14	2%	22 B 25	12%
16 A 07	30%	18 B 23	20%
18 A 14	7%	18 B 21	30%
16 A 11	20%	10 B 23	22%
18 B 27	6%	08 B 23	19%
18 B 29	7%	12 B 29	2%
06 A 07	30%	00 A 09	20%
08 B 25	10%	12 B 27	8%
08 B 29	7%	00 A 11	12%
10 A 11	12%	12 B 23	20%
12 B 21	34%	08 B 21	27%
10 A 07	27%	02 A 07	30%
10 B 21	30%	08 B 27	8%

10 A 09	20%	18 B 25	13%
00 A 07	30%	06 A 11	12%
12 B 25	12%		

Appendix 14.16.9 Samarang Bay and Allandale colour palette

Roof Colours, Body/Wall and Trim Colours		
Resene Acrylic Roof Chart	Ebony	10 HA-5
	Thunder	11 HA-12
	Storm Dust	14 HA-25
	Mirage	14 HB-11
	Steel Grey	15 HB-13
	Stratos	10 HC-4.5
	Gulf Blue	11 HC-8
	Cloud Burst	12 HC-14
	Blue Wale0	14 HC-7.5
	Cocoa Brown	10 HD-4
	Clinker	11 HD-7.5
	Rustic Red	10 HF-5
	Jarrah	11 HF-3
	Morocco Brown	10 HE-7
	Hunter Green	10 HH-4
	Green Kelp	11 HH-7.5
	Mikado	12 HH-7.5
	Nordic	10 HI-4
	Seaweed	12 HI-7.5
	Palm Green	12 HI-4
	Gable Green	13 HL-5.5
Stratco Coated Steel Colour Chart	Ironsand	

	Lignite	
	Karaka	
	Permanent Green	
	New Denim Blue	
	Grey Friars	
Resene	Ship Grey	00 A 11
	Baltic Sea	00 A 13
	Cape Cod	16 A 11
	Rangoon Green	12 B 29
	Black Bean	14 C 40
	Charade	18 B 27
	Cinder	18 B 29
	Blue Bark	18 C 40
	Cardin Green	14 E 58
	Haiti	22 B 29

TRIM AND ACCENT COLOURS

The following colours include those colours that are complementary or of a less grey nature than those derived from the landscape background.

They are accent colours and should only be used in small proportions to add visual interest at close range.

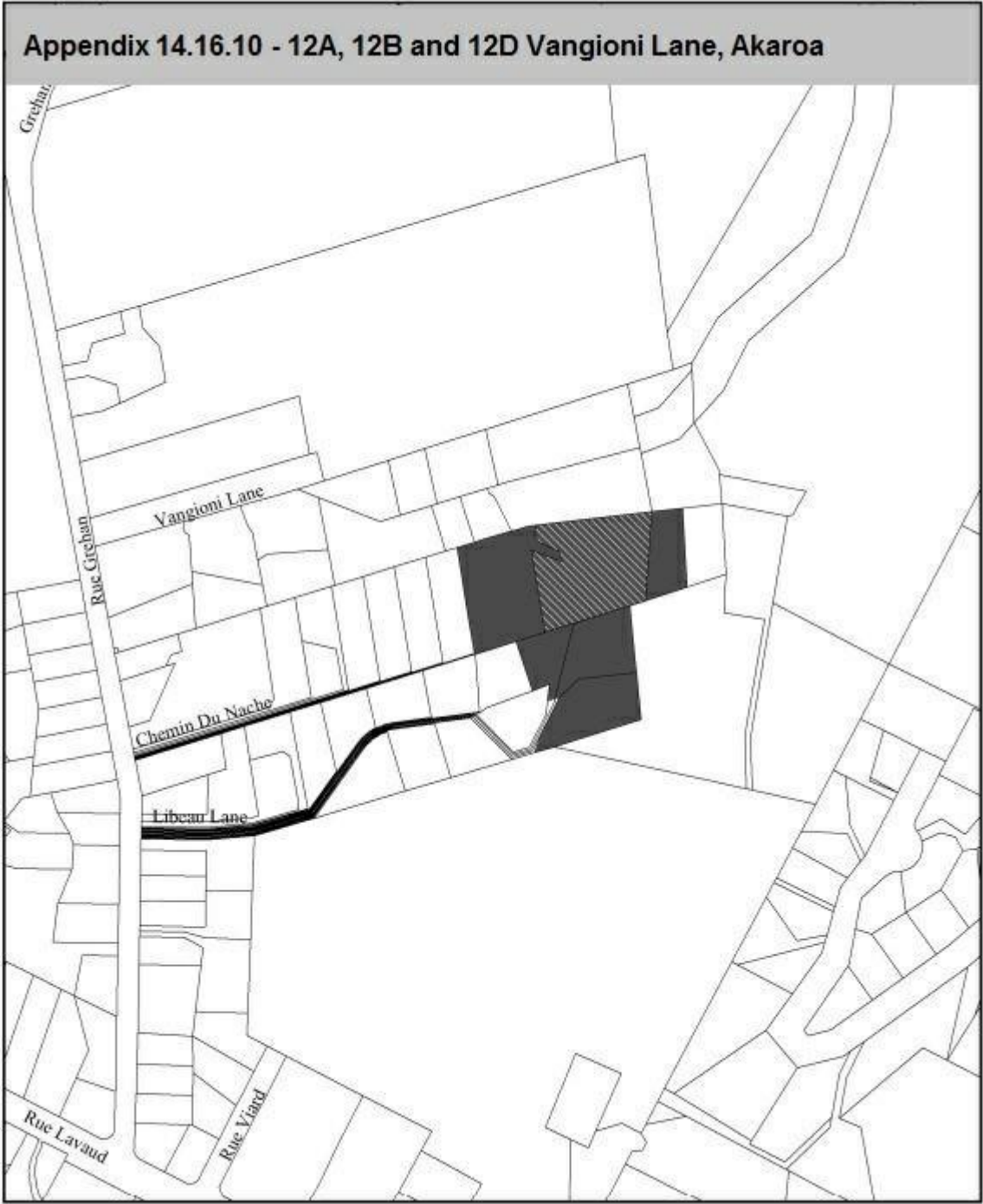
Applications include:

1. Fascia boards
2. Doors and door frames
3. **Windows** and **window** frames
4. **Window** sills
5. Spouting and down pipes

Trim and Accent Colours Only		
Resene	Birch	10 B 27

	Kelp	12 B 25
	Scrub	12 B 27
	Turtle Green	12 C 39
	Pine Tree	12 C 40
	Madras	10 C 39
	Dark Tan	04 C 39
	Chocolate	04 C 40
	Toledo	02 C 40
	Persian Red	04 E 58
	Pirate Gold	08 E 56
	Rich Gold	06 E 56
	St Tropaz	20 D 44
	Catalina Blue	20 D 45
	Biscay	20 C 39
	Outer Space	20 C 40
	Elm	16 D 43
	Blue Stone	16 D 44
	Cyprus	16 D 45
	Hot Chili	04 D 45
	Wistful	22 D 41
	Martinique	22 B 27
	Mardi Gra	24 C 40
	Plum	24 E 58

Appendix 14.16.10 Akaroa - 12A, 12B and 12D Vangioni Lane



Appendix 14.16.11 Grouping of Residential Guest Visitor Accommodation Zone Sites

The following table sets out the groupings for Residential Guest Visitor Accommodation Zone sites for the purpose of determining the applicable zone rules for permitted and restricted discretionary activities (other than for **guest visitor accomodation** (P1) and permitted activities on the YMCA **site** (P3)).

The Residential Guest Visitor Accommodation Zone site locations are contained in the figures following this table.
(Plan Change 4 Council Decision subject to appeal)

ID	Name	Address	Legal Description	Zones applicable to Rule 14.11.1.1 P2 and Rule 14.11.1.3 RD3
Group A Sites (sites located in a lower density residential environment, typically zoned Residential Suburban Medium Density Residential Zone)				
GA1	Wigram Base	14 Henry Wigram Drive	Lot 82 DP 81079	Residential Suburban Medium Density Residential Zone
GA2	Wigram Lodge	15 Sioux Avenue	Lot 1 DP 81926	
GA3	Garden Hotel	110 Marshland Road	Lot 2 DP 456038	
<u>GA8</u>	<u>Addington Court Motel</u>	<u>197 Lincoln Road</u>	<u>Lot 1 DP 79547</u>	
GA4	Redwood Hotel	340 Main North Road	Lot 10 DP 60941	
GA5	Racecourse Hotel	116-118 Racecourse Road	Lot 1 DP 301568, Lot 2 DP 301568	
GA6	Commodore Hotel	447-449 and 455 Memorial Avenue	Lot 1 DP 28781, Lot 2 DP 74459	
Group B Sites (sites located in a medium density residential environment, generally zoned Residential Medium Density High Density Residential Zone)				
GA7	Quality Hotel Elms	456 Papanui Road	Lot 2 DP 29110, Pt Lot 13 DP 959	Residential Suburban Density Transition Residential Medium Density High Density Residential Zone, with Intensificaiton Precinct
GA8	Addington Court Motel	197 Lincoln Road	Lot 1 DP 79547	
<u>GA13</u>	<u>Avon</u>	<u>356 Oxford Terrace</u>	<u>Lots 1,2,3,4 DP 1907, Pt Lots 7,7,8,8,9,9 DP 281, Lot 1 DP 28239, Pt Lot 1 DP 432, Lot 1 DP432, Pt Lot 2 DP 48542, Lots 1,2 DP 7045, Pt Res 28, 77 Christchurch Town</u>	
<u>GA3</u>	<u>Garden Hotel</u>	<u>110 Marshland Road</u>	<u>Lot 2 DP 456038</u>	
GA9	Chateau on the Park	189 Deans Avenue	Lot 1 DP51050, Lot 1 DP6807	
<u>GA15</u>	<u>Hall</u>	<u>294 Barbadoes Street</u>	<u>Pt TR 16 ChCh City CT 316-191</u>	
<u>GA16</u>	<u>Round the World Backpackers</u>	<u>314 Barbadoes Street</u>	<u>Lot 2 DP 33590</u>	
<u>GA22</u>	<u>Vagabond Backpackers</u>	<u>232 Worcester Street</u>	<u>Pt Res 55 Christchurch</u>	

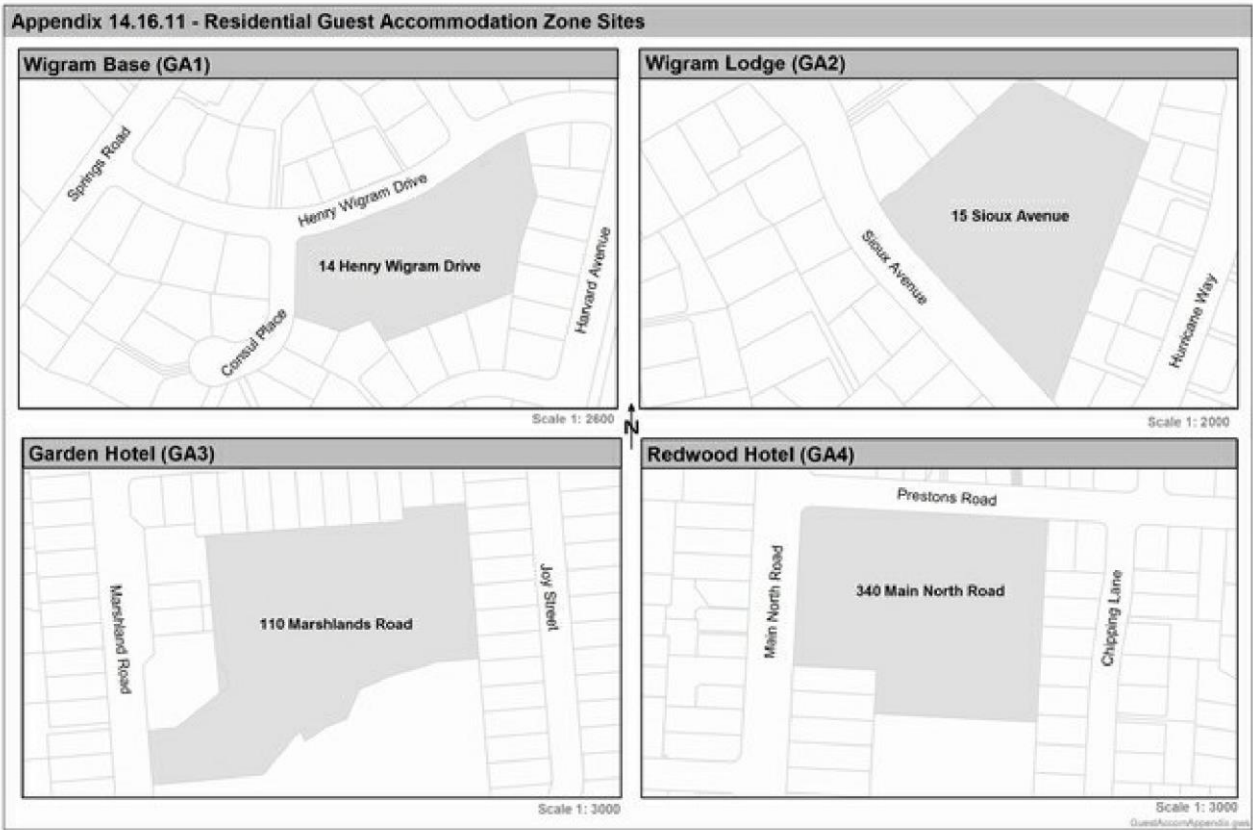
			<u>Town</u>	
Group C Sites (sites adjoining Residential Central City Zone zoned High Density Residential Zone)				
GA10	Peterborough (George Hotel)	54 Park Terrace	Lot 2 DP12364, Lot 1 DP37827, Lots 1 - 6 DP27448, Lot 2 DP1973, Pt Rs 125 Canterbury District, Sections 127 and 128 Christchurch Town.	Residential Central City <u>High Density Residential Zone</u>
GA11	Montreal (Hotel Montreal)	363 Montreal Street	Lot 2 DP473673, Lot 2 DP81571, Lot 2 DP480221, Lot 1 DP480221	
GA12	Latimer (Rydges)	30 Latimer Square	Lot 1 DP 338487 Lot 7 DP1189 Lot 18, DP1189	
GA13	Aven	356 Oxford Terrace	Lots 1,2,3,4 DP 1907, Pt Lots 7,7,8,8,9,9 DP 281, Lot 1 DP 28239, Pt Lot 1 DP 432, Lot 1 DP432, Pt Lot 2 DP 48542, Lots 1,2 DP 7045, Pt Res 28, 77 Christchurch Town	
GA14	Windsor Private Hotel	52 Armagh Street	Sec 1 SO 13661	
GA15	Hall	294 Barbadoes Street	Pt TR 16 ChCh City CT 316-191	
GA16	Round the World Backpackers	314 Barbadoes Street	Lot 2 DP 33590	
GA17	Stonehurst Accommodation	241-263 Gloucester Street	Lot 2 DP 80988, Pt Secs 640,642,642 Christchurch Town, Lots 1, 2 DP 7888, Lot 1 DP 410496, Lot 2 DP 410496	
GA18	YMCA	12 Hereford Street	Lots 1,2,3 DP 25197, Lot 1 DP 46151, Pt Sec	

			441 Christchurch Town
GA19	YHA Hereford Street	36 Hereford Street	Sec 457 Christchurch Town
GA20	Foley Towers	208 Kilmore Street	Lot 1 DP 60425
GA21	YHA Worcester Street	5 Worcester Street	Lot 1 DP 496200
GA22	Vagabond Backpackers	232 Worcester Street	Pt Res 55 Christchurch

Any breach in height under 14.11.1.1 P2 will be considered under the applicable restricted discretionary rule for the commensurate residential zone, as follows:

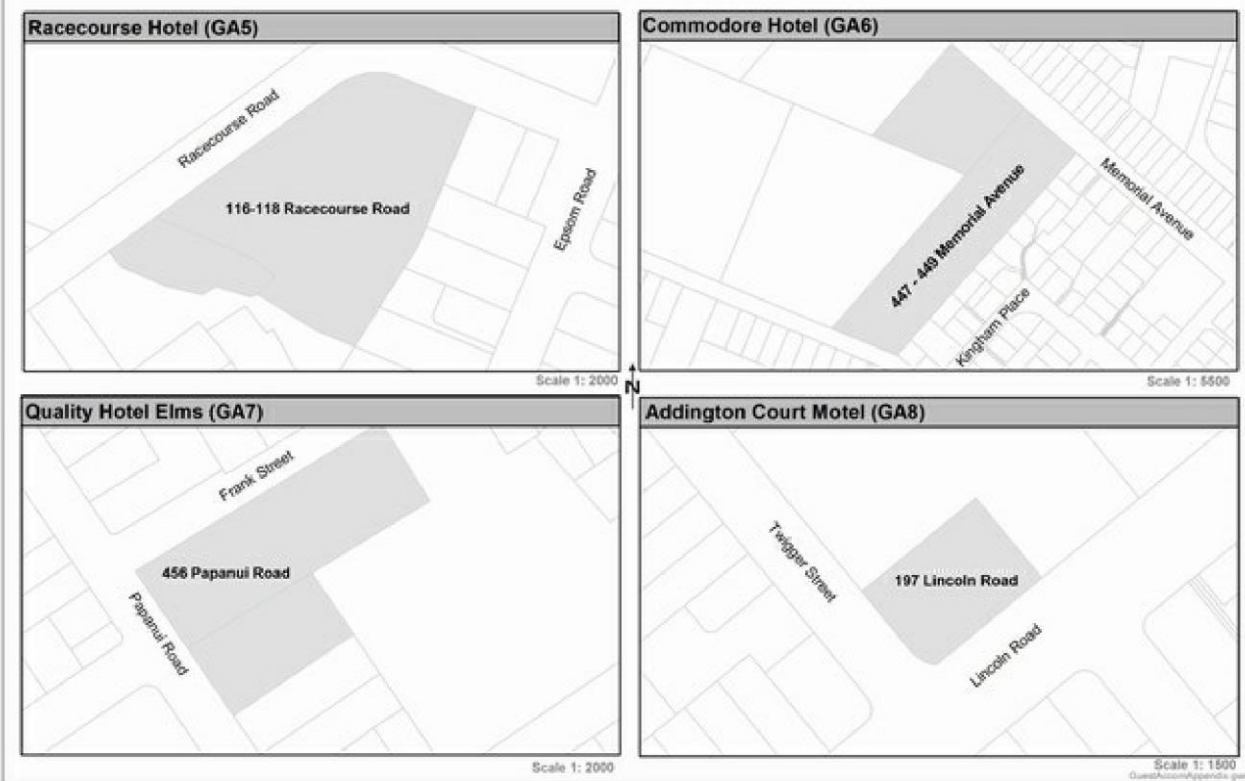
- a. **Group A – Medium Density Residential Zone: 14.4.1.3 RD14**
- b. **Group B – High Density Residential Zone, with Intensification Precinct: 14.5.1.3 RD7 or RD8, as applicable.**
- c. **Group C – High Density Residential Zone: 14.5.1.3 RD7 or RD8, as applicable.**

Residential ~~Guest~~ Visitor Accommodation Zone site locations



(Plan Change 4 Council Decision subject to appeal)

Appendix 14.16.11 - Residential Guest Accommodation Zone Sites



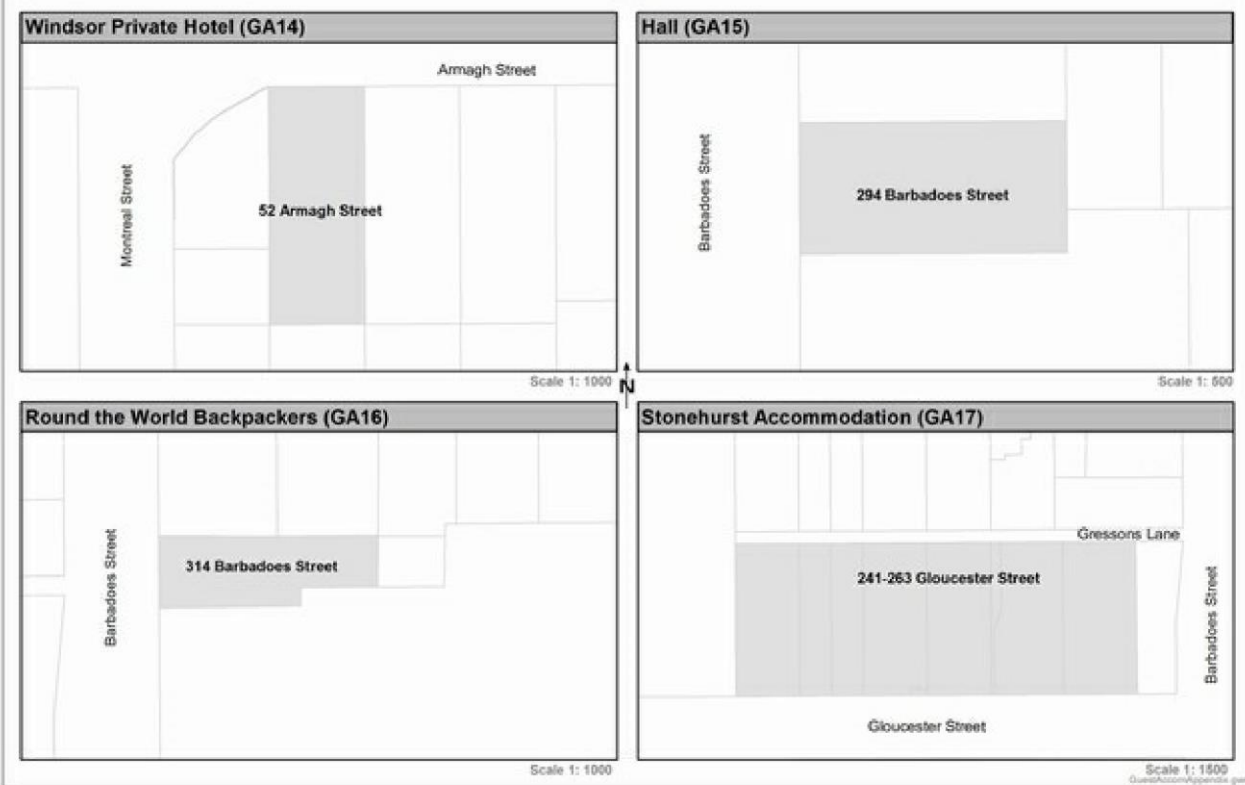
(Plan Change 4 Council Decision subject to appeal)

Appendix 14.16.11 - Residential Guest Accommodation Zone Sites



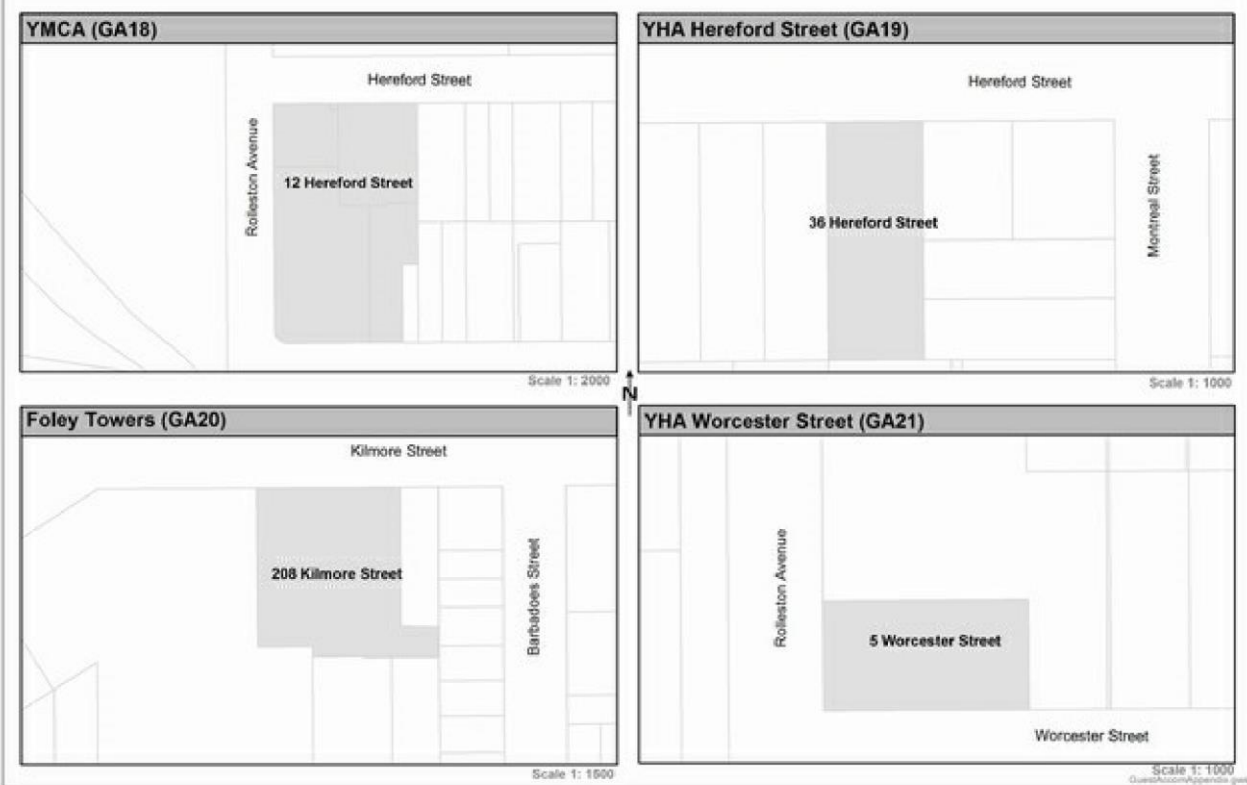
(Plan Change 4 Council Decision subject to appeal)

Appendix 14.16.11 - Residential Guest Accommodation Zone Sites



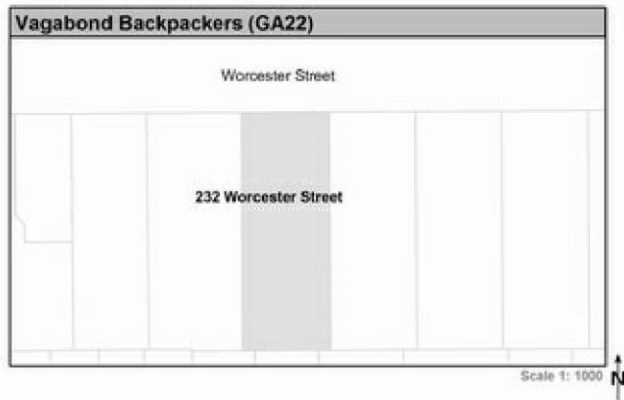
(Plan Change 4 Council Decision subject to appeal)

Appendix 14.16.11 - Residential Guest Accommodation Zone Sites



(Plan Change 4 Council Decision subject to appeal)

Appendix 14.16.11 - Residential Guest Accommodation Zone Sites



GuestAccomAppendix.pdf

(Plan Change 4 Council Decision subject to appeal)