

3 March 2020

Christchurch City Council
Attention: Shona Jowett

By email: shona.jowett@ccc.govt.nz

Dear Shona,

APPLICATION FOR RESOURCE CONSENT RMA/2019/1330, 25 OXFORD STREET AND 3, 5, 7 AND 9 LONDON STREET

1. The letter below sets out the proposed changes to the plans for the above application further from the changes that were submitted to the Council on 14 January 2020 and detailed in the memo send to Council on 3 February 2020. The updated plans are contained within **Attachment 1**.
2. Following the closure of notification and submissions on the 16th of January 2020 it has been identified that the historic brick drain under the building is higher than was originally anticipated, this has resulted in the previous basement scheme becoming unworkable. The Councils S42A report was not able to come to a conclusion on the acceptability of the effects on the drain as insufficient information was available.
3. The plans have been updated to account for levels of the historic drain which includes re-working the layout and a design intent of exposing and 'celebrating' the drain to be used as a feature of the wellness centre.
4. The updated plans will continue to provide 6 car parks (1 accessible) and 20 cycle parks while the car park is proposed to be located within the south western corner of the basement, and the Day Spa is repositioned to the north eastern side of the basement. Locational changes are also proposed to the location of the bin area, the cycle parking and plant room areas. The Day Spa has been assessed on the basis of a maximum of 87.5m² of pool area and 125m² of massage /treatment rooms, to allow for flexibility once tenants are secured (an indicative layout is however shown). There is no change to these maximum areas as a result of the re-positioning of the Day Spa. The revised plans are contained within **Attachment 1**.
5. The revised plan features the brick drain in the building design as an architectural feature by exposing and 'celebrating' the brick barrel drain. This will also enable public access to view a heritage feature that was previously unable to be viewed. We have also liaised with Paul Dickson, a Christchurch City Council drainage engineer, who has expressed the Councils wish for this brick barrel drain to be able to be viewed by the public and access established for maintenance of the brick barrel drain.
6. A summary of the design changes made since the resource consent submission on June 14th, 2019 and the further amendment on the 4 January 2020 are detailed below:



- Updated basement and parking layout retaining provision of 6 car parks and including improved manoeuvring (refer to **Attachment 2** which shows compliant manoeuvring).
 - A longer vehicle ramp which is not as steep as the previous design, and retains the proposed 3.6m formed width. A high-speed roller door is retained at the road boundary in accordance with proposed Condition 6 of the s.42A report. A convex mirror is still proposed to ensure visibility between the aisle and ramp to ensure vehicles exiting the car park wait for any vehicle entering the site / on the ramp.
 - An amended cycle parking layout, retaining the 20 covered, secured, staff and residents spaces however six cycle parks are hanging on the wall rather than being provided with a stand.
 - The stairs to the ground floor have moved and are now located against the southwest block.
 - The eastern façade of the basement level facing Oxford Street has been updated to include two windows which will have some form of treatment to prevent a clear view of the pools but admit natural light.
7. The proposed changes will not result in any additional non-compliances, while the existing non-compliances that were proposed under RMA/2019/1330 are detailed in the underlying AEE and Councils S42A report.

Summary

8. In summary, we consider that the changes made to the plans adequately address the concerns raised by the Council in the S42A report regarding the treatment of the brick barrel drain, and will result in a better overall design outcome.
9. We trust that the further information above assists and satisfactorily addresses the updated changes. If you require anything further, please do not hesitate to contact the undersigned.

Yours sincerely,

Novo Group Limited

Emily McDonald

Planner

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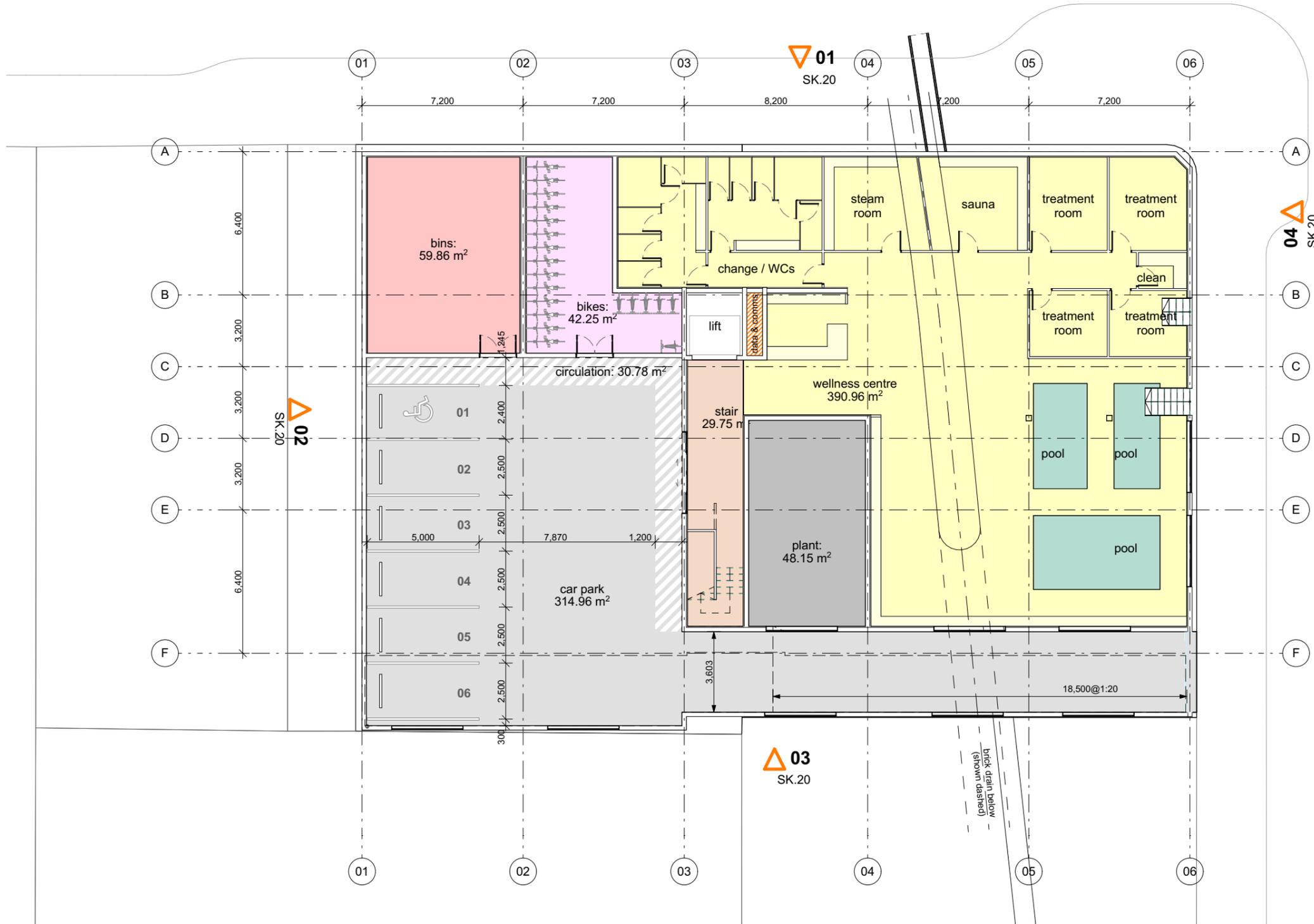
Attachment 1: Updated Plans



site information	
address	3 - 9 London Street Lyttleton
legal description	lot 1, DP 13544 & pt. sec. 31, tn of Lyttleton
areas	
total site:	973m ²
total site coverage:	790m ² (81%)
ground floor footprint:	576m ² (59%)
ground floor public space:	250m ²

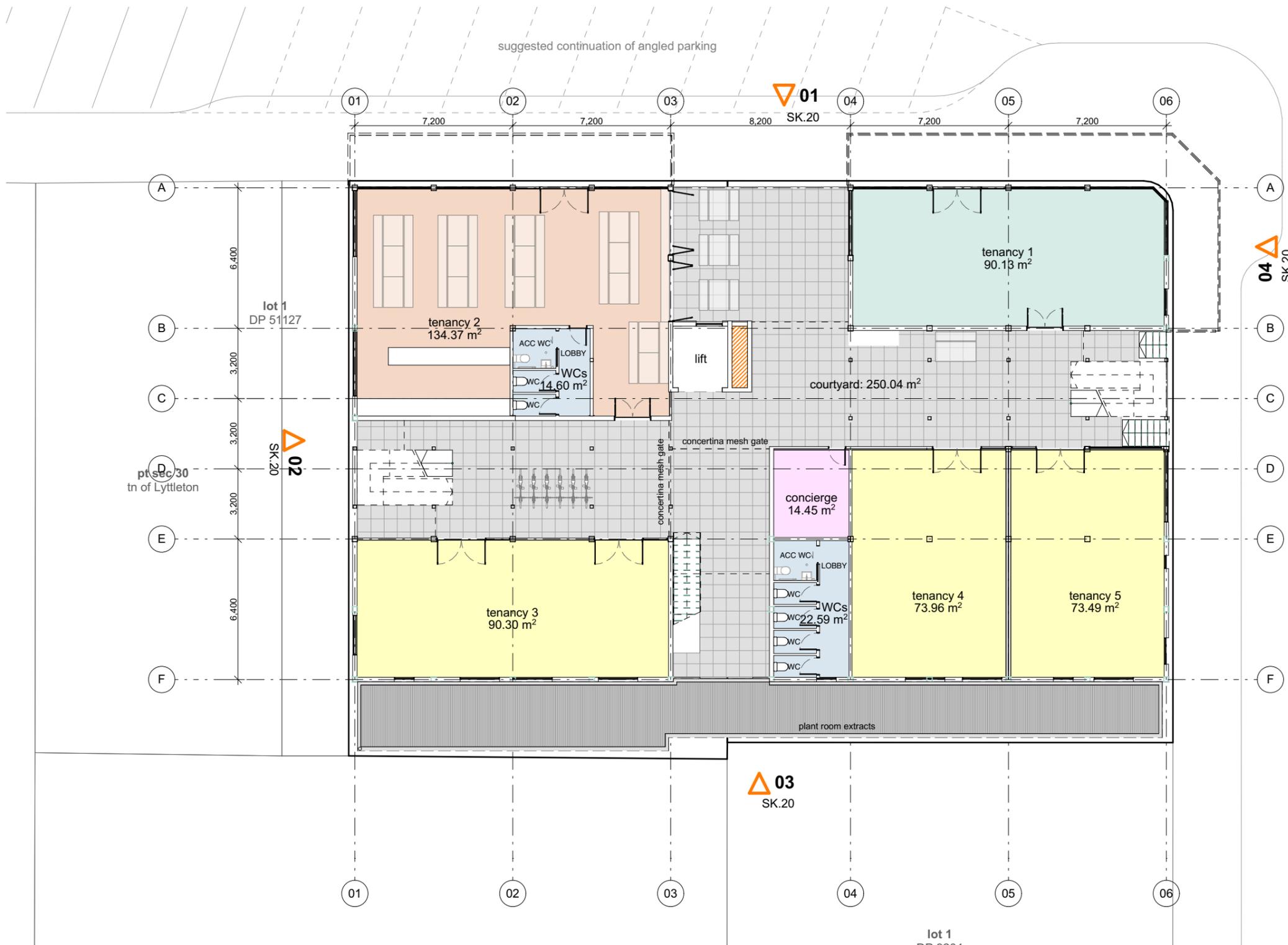


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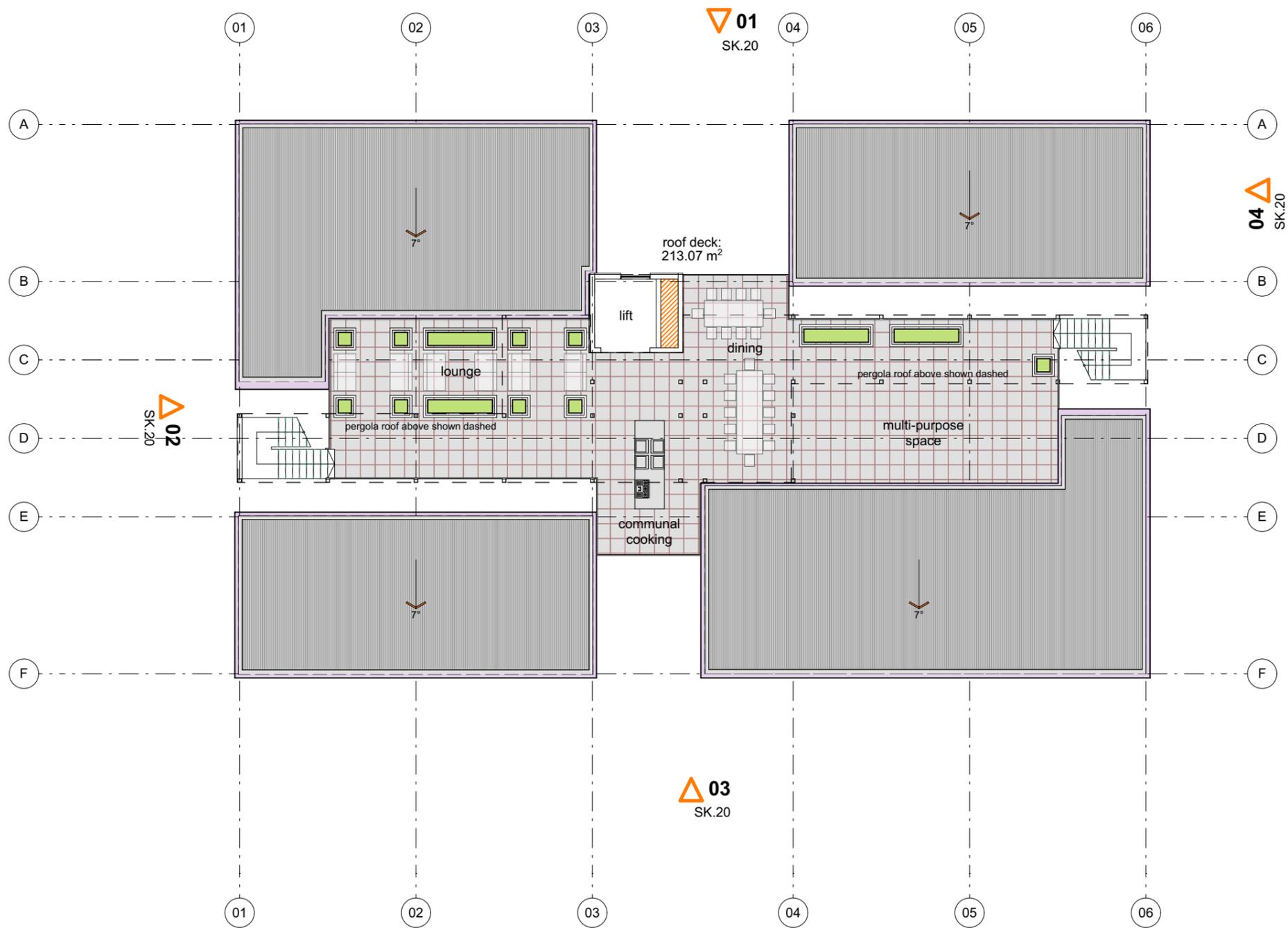
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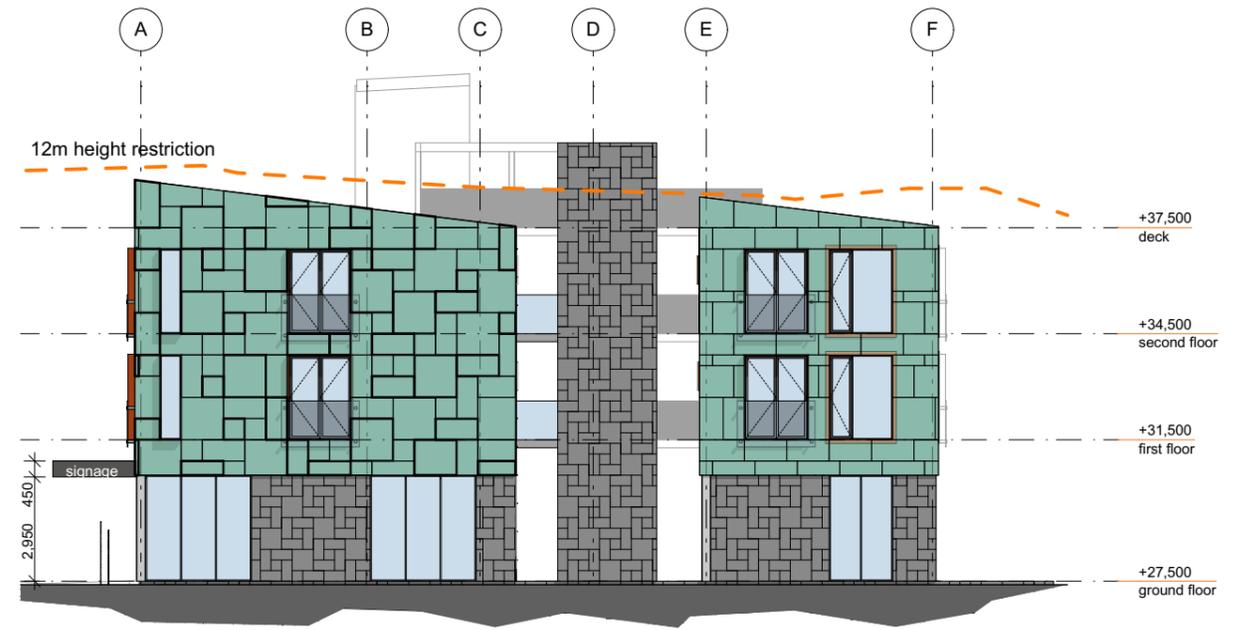






01 north elevation
scale 1:200 @ A3

North elevation:
Ground floor glazing = 67% of ground floor facade



02 west elevation
scale 1:200 @ A3

Note:
Cladding patterns on all elevations shown indicative only

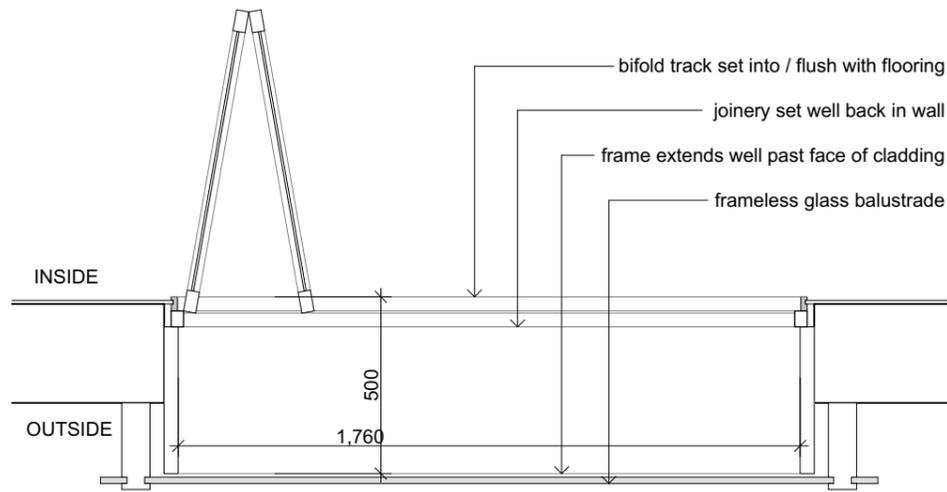


03 south elevation
scale 1:200 @ A3

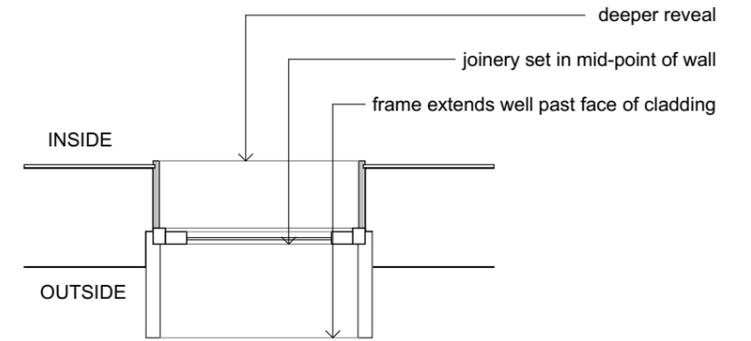
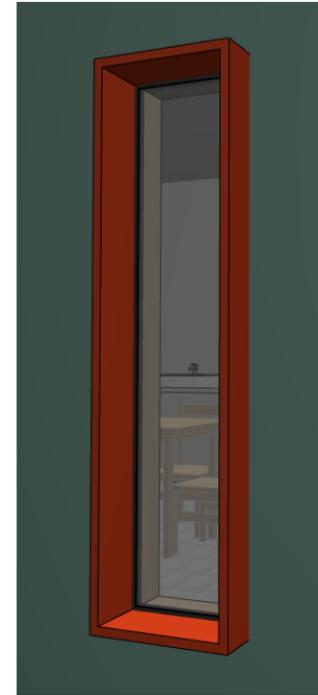


04 east elevation
scale 1:200 @ A3

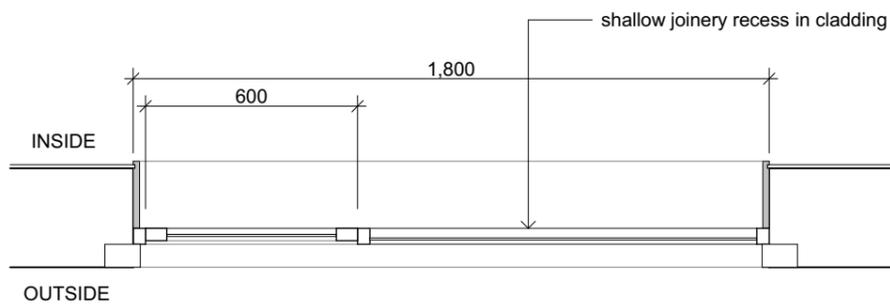
East elevation:
Ground floor and basement glazing/openings = 32.8% of facade



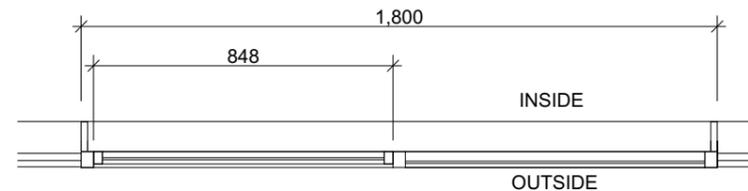
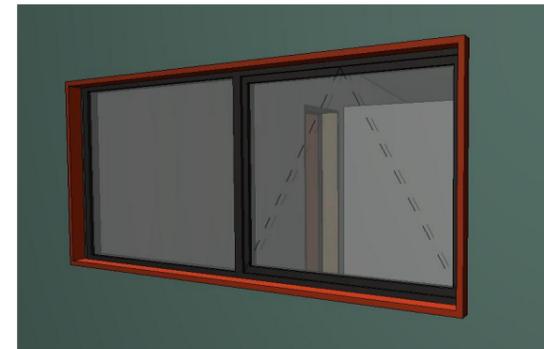
A juliet balcony detail
scale 1:20 @ A3



C small window detail
scale 1:20 @ A3



B large window detail
scale 1:20 @ A3



D bedroom window detail
scale 1:20 @ A3

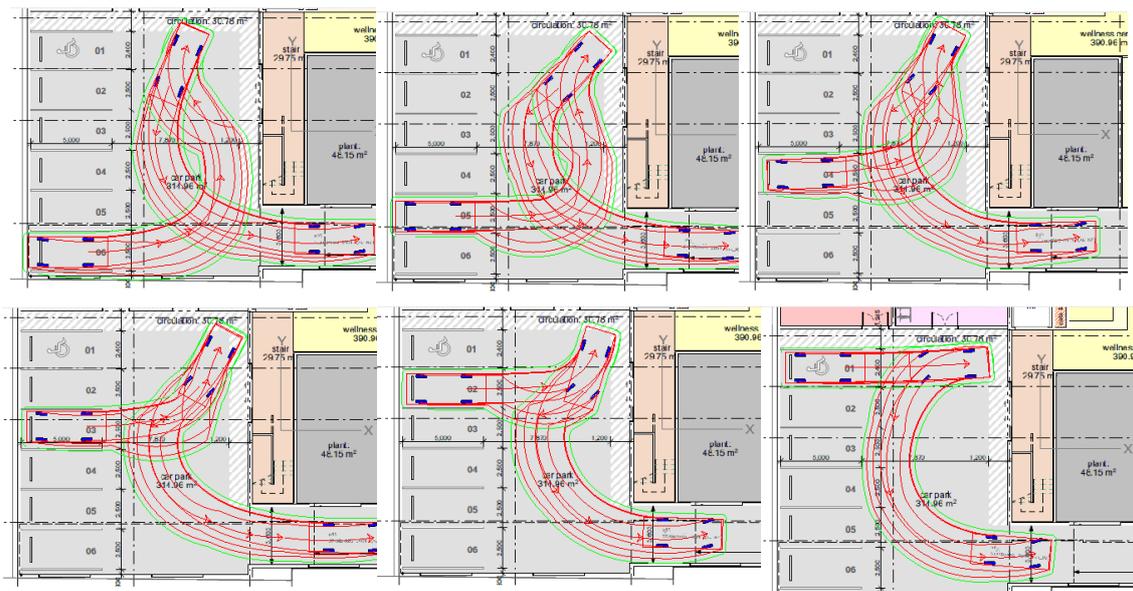


Figure 2: Exit Diagrams (single reverse manoeuvre)